

Application Number	14/01486/AS
Location	Land between Arthur Baker Playing Field and Ashford Road, Charing, Kent
Grid Reference	95478/49050
Parish Council	Charing
Ward	Charing
Application Description	Hybrid planning application for the development of land at Maidstone Road, comprising: <ul style="list-style-type: none">• Full planning permission for the erection of a 51 unit age restricted (55+ years) affordable housing scheme (to include 5 age restricted affordable bungalows) together with the creation of a new pedestrian and vehicular access point linking Maidstone Road through to the Arthur Baker Playing Fields; and• Outline planning permission (matters to be reserved: appearance, landscaping, layout and scale) for the erection of market sale housing units on the remainder of the site.
Applicant	Orbit Homes, Horizon House, Unit 1 Eclipse Park, Sittingbourne Road, Maidstone ME14 3EN
Agent	Mr P Sullivan, RDA Architects, Evegate Park Barn, Evegate, Smeeth, Ashford, Kent TN25 6SX
Site Area	2.94 hectares

First round of consultation

(a) 232/114R, 1S Charing Playing Fields R	(b) R	(c) NE X KCCH&T R WKPS X PO Drainage R SW X
---	-------	---

Second round of consultation

(a) 232/89R, 1S 1x	(b) R	(c) SW X EH (EP) X
--------------------	-------	-----------------------

Third round of consultation

(a)	232/ 23R; 1S; 1X	(b)	R	(c)	EA + NE X KWT KCC H&T X Kent Police X KCCBioX PO Drainage X EH (EP) X Kent Downs AONB unit X
	Moat Management Company C				

Introduction

1. This application is being reported to the Planning Committee as it is a major development.
2. The site comprises CHAR1 – an allocated housing site within the Tenterden and Rural Sites DPD – together with adjoining land immediately to the east.
3. The applicant, Orbit Homes, is proposing a development of 46 age restricted (55+ years) affordable housing units and 5 age restricted affordable bungalows on the northern part of the site (most of CHAR1) with housing for private sale on the southern part of the site (the rest of CHAR1 and the additional land). The term ‘hybrid application’ refers to the fact that the proposals for the age-restricted housing are a ‘full’ application, whereas those for the market housing are in outline only (matters to be reserved: appearance, landscaping, layout and scale). This reflects the phased nature of the scheme with the age restricted housing comprising the first phase and the market housing phase 2.
4. The proposals have been amended since first submitted. The original proposal was for 66 extra care dwellings (61 flats and 5 bungalows) and associated community facilities (including a hair dresser and restaurant) on the northern part of the site. Following a large amount of opposition to this scheme from local people concerning, in particular, the scale of the largely 3-storey extra care building and the inclusion of the community facilities, which were considered to compete with existing facilities on the High Street, the scheme has been amended. The revised scheme is for a two-storey apartment building with a communal lounge.
5. The changes in building form and deletion of associated facilities have had a knock on effect on the scheme in terms of the type of accommodation on offer and the tenure mix. No longer an extra care facility, the scheme would provide affordable housing to older people (age 55+) prioritising those living in and around Charing under the Council’s Lettings policy. More information is provided later in this report.

Site and Surroundings

- The site is located on the A20 at the southern entrance into the village of Charing. The location of the site is shown on the plan attached as Annex 1. It has a total area of 2.94 hectares of which 1.13 hectares comprise the site of the age restricted affordable housing scheme and 1.86 hectares the site for the market housing (denoted by a hatched line). Figure 9 below is also relevant.

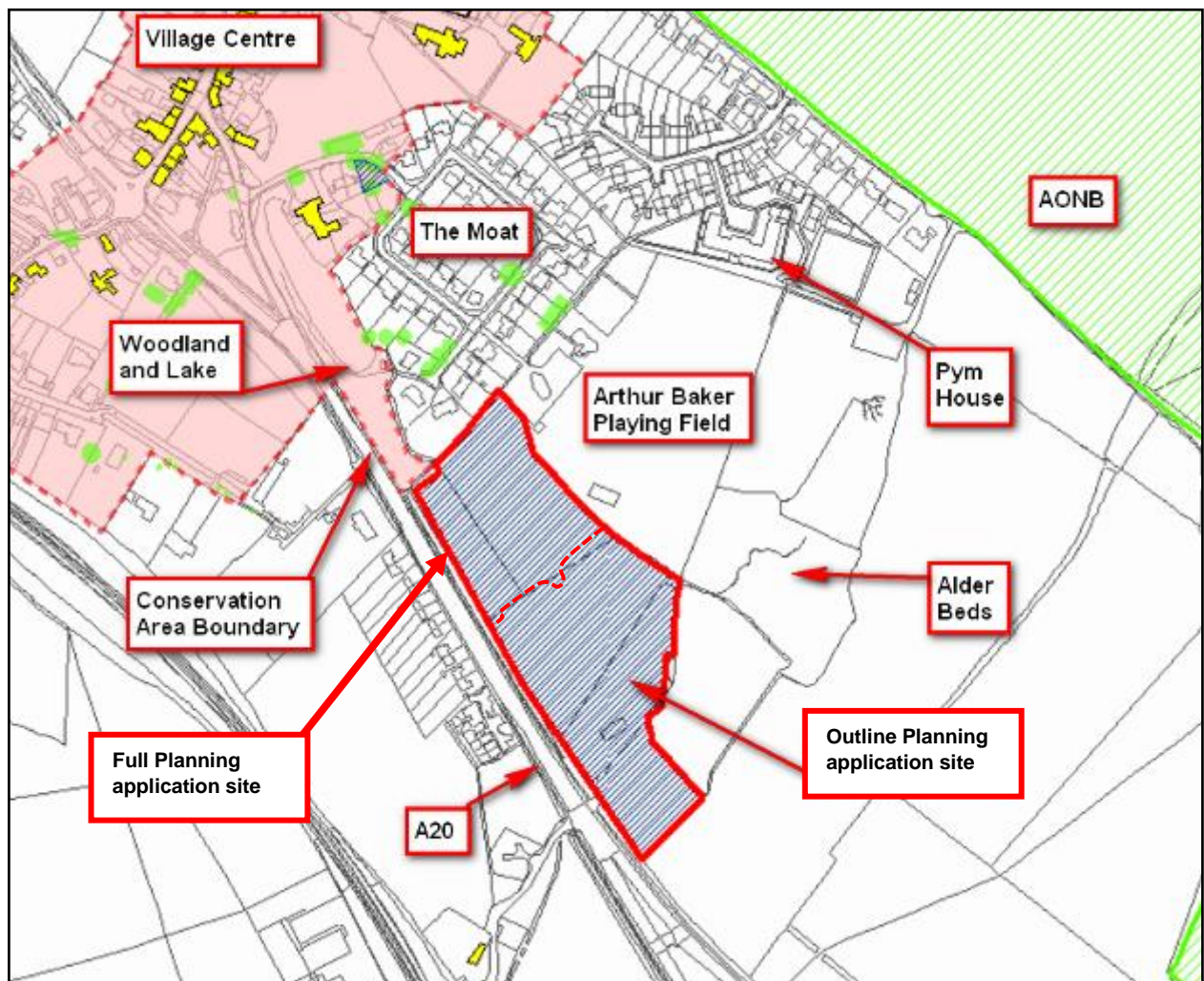


Figure 1: Site Location

- The site comprises a roughly level area of mostly undeveloped pasture to the eastern side of the A20. Situated some 0.5 – 1m below the carriageway of the A20 the land slopes gently upwards in an easterly direction towards the Arthur Baker playing fields. With the exception of a row of poplars along the field boundary within the central part of the site, trees are mostly confined to site boundaries. A ditch runs across the site from north to south. There is also a drainage ditch alongside the A20. At the eastern end of the site is a small derelict agricultural building with a narrow access from the A20.

8. The site adjoins an area of residential development to the north called The Moat, comprising mostly bungalows on quite spacious plots which back onto the application site. Behind 26 The Moat and adjoining the north-west corner of the site is The Moat woodland and lake. This heavily treed area forms the eastern limit of the village conservation area. To the north east of the site lie the Arthur Baker playing fields comprising sports pitches; a new pavilion and parking area. Beyond the playing fields and situated on slightly raised land is Pym House, a residential care home. From there the land steadily rises to the North Downs Area of Outstanding Natural Beauty from where there are views over the village and the application site.
9. To the east of the site is open countryside which includes the 'Alder beds' an area of local biodiversity value comprising wet woodland and meadow. A ribbon of residential properties lies to the west of the site on the opposite side of the A20. These are mostly two storey semi-detached properties situated slightly above the A20 with long views across the site towards the North Downs.
10. The Arthur Baker playing fields and sports pavilion is accessed via a narrow track between properties in The Moat. This same track also serves the parking area for the playing fields which is situated along the northern part of the boundary with the application site. The track is clearly substandard and a Development Plan requirement of any development coming forward on the CHAR1 application site is that it makes provision for a new vehicular, pedestrian and cycle link from the A20 through the site to the playing fields as a replacement for the access from The Moat. This is discussed later in this report.

Proposal

11. This is a hybrid application. Full planning permission is sought for the erection of 51 age restricted (55+ years) affordable housing units to include 46 flats within a main building and 5 bungalows, together with the creation of a new pedestrian and vehicular access linking the A20 through to the Arthur Baker playing fields. Outline planning permission is sought for market sale housing with appearance, landscaping, layout and scale to be determined at a later date.

Age restricted affordable housing scheme (full application)

12. The scheme will deliver an affordable housing development for eligible people over the age of 55 years who want to continue living independently. Priority will be given to those people with a local connection to Charing or the neighbouring parishes.

13. The scheme will comprise a 'main building' with 46 self-contained flats: 20 x 1-bed flats and 26 x 2-bed flats together with five 2-bed bungalows. The tenure mix will comprise 12 rented units (within the main building) and 39 shared ownership units.
14. The scheme will be built to Lifetime Homes Standard, enabling adaptations to be easily put in place to assist with disability and frailty if required and is wheelchair accessible.
15. The proposed layout is shown in Figure 2 below.

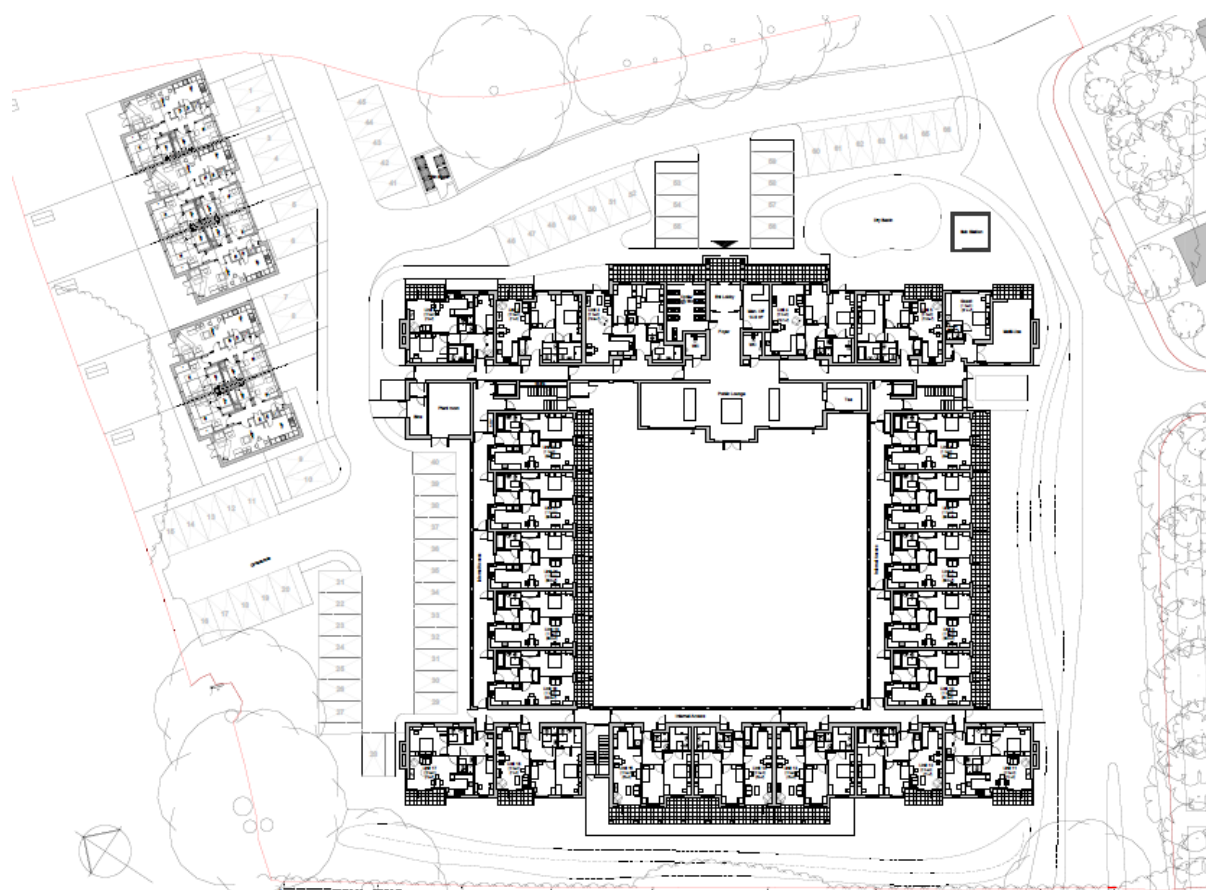


Figure 2: Proposed layout of age restricted affordable housing scheme

16. The building is set back from the Maidstone Road with an earth mound and planting provided along the A20 frontage to reduce its visual impact. The main entrance is placed in the east elevation facing onto the playing fields.
17. The elevations to the building have a maximum length of 74 m. Each outward face of the building is made up of three distinct elements. This is achieved

through 'breaks' in the roof form (flat roofed linking elements); varying roof forms; changes in set-back, materials and detailing. The intention is to reduce the bulk of the building and provide a varied street scene.

18. During the course of the application, the scheme has been amended a number of times. The first set of amendments involved lowering the height of the three storey elements of the main building to help reduce its impact. The second lot of amendments involved the removal of the three storey elements in their entirety. This has resulted in a significant reduction in the height of the main building, which is now proposed with a consistent ridge height of 9.8m. (Previously, the three storey elements had a ridge height of between 12.8m and 13m depending on the form of the roof and the two storey elements had a ridge height of 9.8m). A comparison of elevations between the interim scheme and amended scheme in figures 3 and 4 below with the remaining elevations of the amended scheme shown in figures 5 -7.



Figure 2: Interim scheme - Proposed west elevation to Maidstone Road



Figure 4: Scheme as now proposed – Proposed west elevation to Maidstone Road



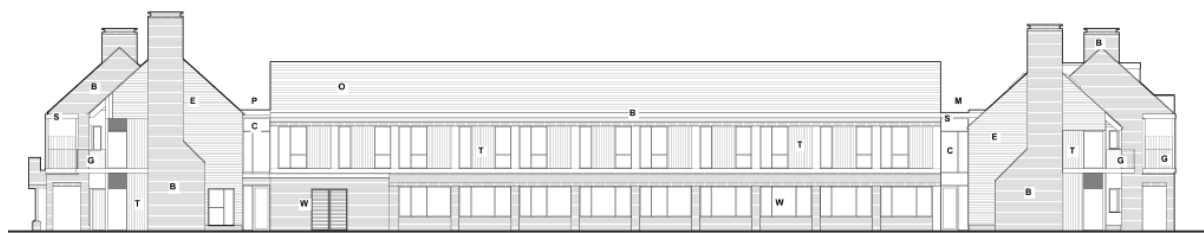
South Elevation

Figure 5: Amended scheme - Proposed south elevation



East Elevation

Figure 6: Amended scheme - Proposed East elevation onto playing fields



North Elevation

Figure 7: Amended scheme – Proposed north elevation onto The Moat

19. Residents of the main building would reach their apartments via secure doors and naturally lit access ways that overlook the courtyard garden and landscaped spaces. It has been a conscious decision to avoid double-banked corridors. The majority of two-bed flats have a dual aspect to aid natural ventilation and light. All apartments have the benefit of large private balconies in addition to the communal use of the private landscaped courtyard.

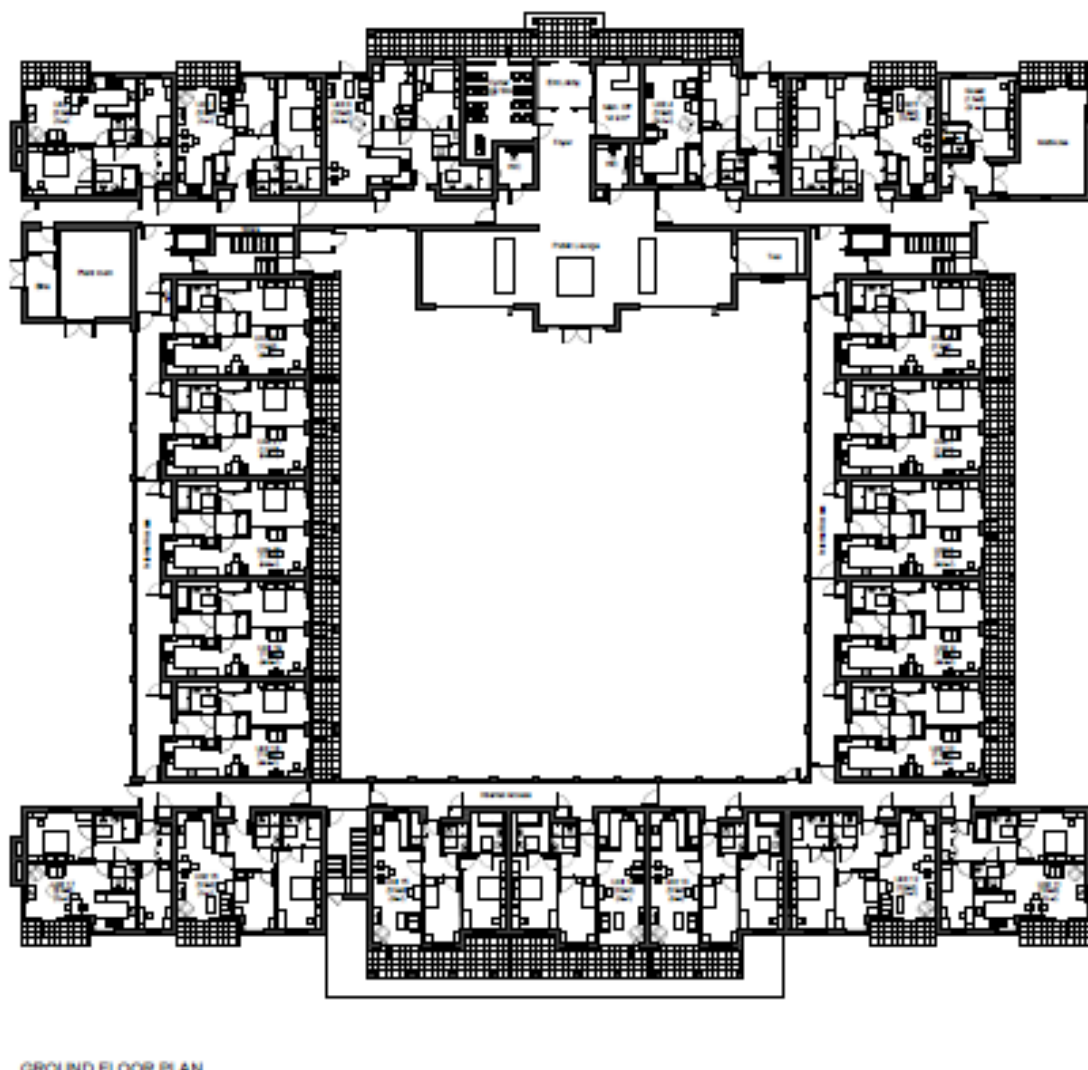


Figure 8: Ground floor plan

20. The main building has a painted steel framing system of balcony supports which create a light framework reminiscent of the timber framed buildings found in the village. The small jettying out of the first floor picks up on the traditional jettying found in Sherborne House and elsewhere. The framework extends to support the roof and makes the building appear more traditional.
21. The pitched roofs are of clay plain tiles with the flat roof areas constructed in a waterproof single ply membrane. A zinc roof has been designed to the single storey lounge buildings in the courtyard – this is of better visual quality as lots of people will see it from their apartments. Red brick to match that found locally in the village and white boarded elements make up the external walls. The external frame to the balconies in the central buildings is of painted steel

rectangular sections with glazed balustrading and occasional naturally finished timber vertical screens for privacy. Windows are of grey coloured UPVC outside and white UPVC inside with sections within these of naturally finished timber panelling with separate louvered areas to the main bedrooms for ventilation

22. The 5 bungalows are arranged along the northern boundary of the site as a terrace of three and two semi-detached units. All units face in a southerly direction towards the main building and back onto existing residential properties in The Moat. Each unit has its own private back garden and 'on plot' parking space. The main area of parking is located adjacent to the bungalows and adjoining The Moat woodland.

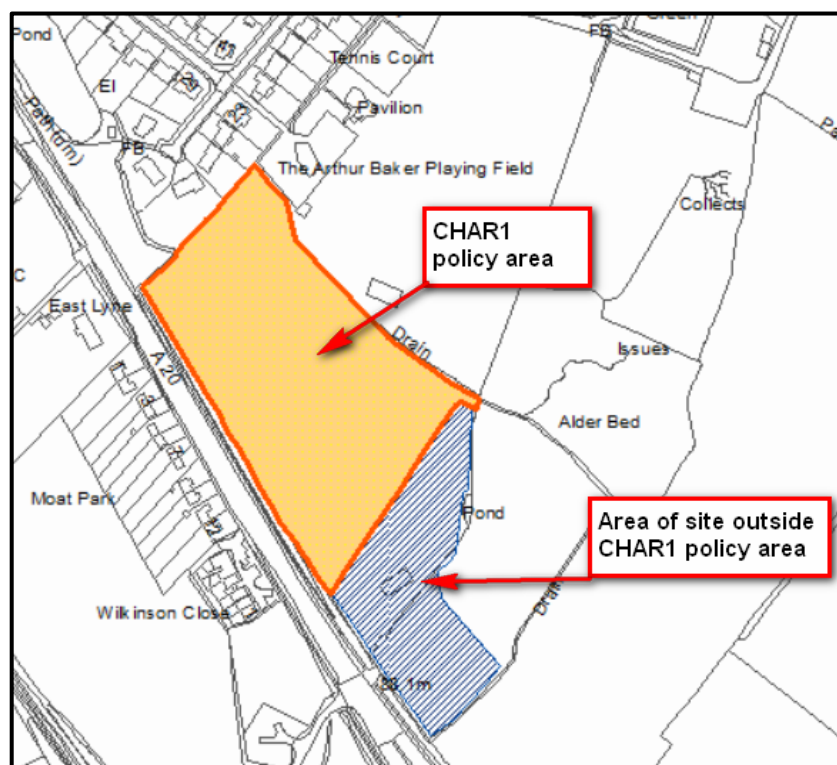


Figure 9: showing area of application within CHAR1 policy area (yellow) and area outside but able to be considered for development under policy TRS4

23. The streets and public open spaces around the building are organised to facilitate vehicular and pedestrian access to the adjoining playing fields and to serve the main private parking area for the development along the northern elevation of the building. The southern and western elevations are free from parked cars to create a landscaped setting for the building with a mound and tree planting proposed along the frontage with the A20 and a swale proposed along the main access road.

Market Housing (outline)

24. Outline permission is sought for market housing on the remainder of the site with matters relating to the number of units, appearance, landscaping, layout and scale reserved. Access to the site would be from the proposed new access to Maidstone Road shown in figure 2 with an emergency access at the southern end of the site. The original plans submitted as part of this application showed an indicative layout of 42 units. Whilst an amended plan has been submitted, which also shows an indicative layout of 42 units, this is illustrative only - the application does not now specify a number of units.
25. The following supporting documents have been submitted with the application and are summarised below. Whilst these mostly support the original proposal for an extra care facility, further information has been submitted on the need to support the current proposal for age restricted affordable housing.

Statement of Local Needs by Orbit (updated report received 4/2/15)

This statement explains that this proposal is a response to two local needs surveys conducted in 2010 and 2014 that established the level of older persons' accommodation required in the village and a cluster of rural parishes. These surveys are detailed below. The application also refers to a workshop in the village, facilitated by the parish council and attended by local people in 2012, where they confirmed that the village wanted/needed an extra care development and identified this site is the most appropriate location for it in the village.

The Ashford Borough Council Older Person Accommodation Survey – Cluster one (2010) by Rural Housing Enabler

This survey, targeted at people over 50 and covering the parishes of Charing, Little Chart, Smarden, High Halden, Egerton, Pluckley, Biddenden and Bethersden. Of the 355 surveys returned 97 households (120 respondents) indicated a need for some form of supported housing; in a range of tenures. The questionnaire in Charing was posted to 126 Ashford Council tenants over the age of 50, from which 21 expressed an interest in older person accommodation.

Charing Housing Needs Survey (May 2014) by Rural Housing Enabler

This survey helps ascertain whether there are shortfalls in affordable housing provision and extra care housing for older people within the parish.

In March 2014, approximately 1486 surveys were distributed to every household in the parish; only those with a housing need were asked to

respond. Analysis of the 98 completed surveys identified that. Analysis identified in part that

- 48% of respondents are owner occupiers
- 52% a mix of renters, shared owners, tied tenants and people living with relatives
- 61% of the total number of households (60 households/84 individuals) needing alternative housing consists of members who are 60 years old and over;

Planning and Affordable Housing Statement by PRP Planning

This document discusses the principle of developing this site; referencing Policy CHAR1 and the extended the site area to accommodate the extra care dwellings being proposed as a Rural Exceptions Site.

It has been amended since first submitted to reflect the amended scheme.

Design and Access Statement (DAS) by PRP Architects and updated by RDA Architects

This document describes the original scheme and the evolution of its design identifying

- the various workshop sessions and meetings that have taken place during the course of its development including.
 - Site Design Workshop (19th October 2013) – with members of the parish council, a representative from the playing fields association and some nearby local residents
 - Pre-application meetings with Ashford Borough Council – including representatives from the parish council and a representative from the playing fields association.
 - Design Review Panel who was supportive of the scheme (see notes in consultation section).
- the various studies that have informed the form; massing and elevational treatment of the main extra care building; as well as reference to the Charing VDS and images and drawings of the scheme
- how the site's setting and natural landscape features have defined the master plan, and sustainable urban drainage.

- how issues of access, security, waste management and energy efficiency are addressed.
- how the scheme
 - incorporates 'Lifetime homes' as a standard,
 - incorporates telecare,
 - incorporates dementia friendly design
 - meets the 10 principles of the HAPPI (and HAPPI 2) reports.
 - it is designed to comply with the design specification of the Ashford Extra Care Sheltered housing Document revised in February 2014.

Transport Statement by PBA, Peter Brett This statement concludes additional traffic from the site (extra care and market housing) would equate to one vehicle movement every two minutes (on average) during both peak hours. The impact of the development is not considered detrimental to the operation of the existing highway network.

The conclusions of this report remain valid despite a change from extra care. (The change in tenure would result in a need for additional parking which is discussed in the relevant section to this report)

Ground Investigation report by Listers (September 2014) No ground contamination was encountered and that site remediation is not required.

The conclusions of this report remain valid despite a change from extra care.

Topographical Survey by Survey Solutions shows the highest part of the site is in the north east corner adjacent to the playing fields. From this point, it slopes down gently towards the south and west. The site is at a lower level to the A20 – at most by about 1.5m at the North West corner of the site.

The conclusions of this report remain valid despite a change from extra care.

Ecological Surveys and Enhancement Strategy and Scoping Survey by Lloydbore (May 2012)

Surveys recommend further survey work to take into account the possible presence of great crested newts, the water shrew and reptiles; a relatively high population of viviparous lizard and a low population of slow worm;. Precautionary mitigation is recommended with regard to dormice, bats, badger and nesting birds. It is considered that the proposal offers an opportunity for biodiversity enhancement within the site.

This strategy recommends

- native planting and a varied plant mix to diversify species and support a range of larger animals
- Linear sections of vegetation for bats and birds alike including hedgerows rather than close boarded fences tree avenues and climbing plants.
- that areas are installed for residents' composting
- the use of permeable paving and the incorporation of water butts and rain gardens.

The conclusions of this report remain valid despite a change from extra care.

Arboricultural Implications Assessment and Method Statement by ACS Consulting (November 2014)

The report concludes that the scheme will require the loss of some trees but that these are low in function and value and concludes that a suitable landscaping strategy including the provision of new trees will reduce the impact of the scheme to an acceptable level. The conclusions of this report remain valid despite a change from extra care.

Energy Strategy (within DAS) by PRP Architects

A review has been carried out to assess how best the development can achieve and surpass the requirements of Policy CS10 and CS6. The energy hierarchy has been applied to ensure energy efficiency is maximised prior to the consideration of Low or Zero Carbon (LZC) measures. These include:

- Highly efficient thermal fabric to minimise heating requirements;
- Highly efficient centralised heating system to serve the space and water heating requirements of both non-residential elements and the flats within the extra care facility main building

- PVC arrays are shown located on south facing roof slopes within the valley roof such that they are hidden from view.

Drainage Strategy/SUDS Report by Knapp Hicks & Partners

Ground infiltration is not a viable option for this development and controlled discharge into the local drainage ditches to greenfield rates would be more favourable. Design proposed to comply with ABC's Sustainable Drainage SPD October 2010. Confirmation from Southern Water should be obtained that existing sewers located in Maidstone Road will have capacity for the increased volume of discharge. The conclusions of this report remain valid despite a change from extra care.

Flood Risk Assessment and Drainage Impact Assessment by Knapp Hicks & Partners

The report identifies that there is some risk of surface water flooding in more major flood events (generally over 1:100 event) and recommends that the applicant considers this as part of their surface water management strategy. The conclusions of the report remain valid despite a change from extra care.

Planning and Affordable Housing Statement (Revised at 22.03.17 – bungalow tenure change to shared ownership)

This is an update of the November 2014 report to reflect the new scheme.

Planning History

26. The site is comprised of CHAR1, an allocated housing site within the Tenterden and Rural Sites DPD together with additional land immediately adjoining CHAR1 to the south. In September 2012 a Saturday morning workshop involving local people and facilitated by the Parish Council, identified the area adjacent to The Moat as the preferred site for an extra care development due to its relative proximity to the village centre. As the extra care development would be to meet local needs the area to the south of the CHAR1 site was amalgamated with it in the application to create a more effective and sustainable use of the land.
27. 14/00018/EIA/AS – screening opinion for proposed residential units with associated car parking and access - EIA not required

Consultations

28. The application has been amended since first submission on two occasions. The first lot of amendments included:

- Reduction in height and bulk of the main building,
 - Increase in parking which has resulted in the number of bungalows being reduced from 7-5
 - Improvements to quality of the public realm around the main building
 - Resolution of issues of access raised by the Playing Fields committee
 - Amended the description of the outline part of the application to remove reference to a maximum number of dwellings so that the application now only seeks approval for the principle of residential development on this part of the site.
29. The second lot of amendments included:
- Deletion of second floor accommodation within main building and reduction in building height
 - Change in offer: from an-extra care facility to age restricted affordable housing
30. Re-consultation following the receipt of amended plans has taken place and the following summary of responses refers to all three rounds of consultation.

First Round of Consultation

Ward Members: - the Ward member is a member of the Planning Committee.

KCC Highways and Transportation: - No objection in principle subject to a number of technical issues being resolved. (DM comment: these are now resolved or appropriate conditions proposed.)

Charing Parish Council recommends refusal unless the fears listed below can be overcome. The reasons are as follows:

- Potential conflict between policies CHAR1 and TRS5 – if the extra care scheme and market housing are being considered separately (as required by the policies) then the requirement for affordable housing under CHAR1 still stands;
- Impact of commercial elements on businesses in the High Street is potentially contrary to policy;
- The main buildings are too high – they should be lower than the roof tops of Moat Park houses;

- Parking is inadequate;
- The development is too close to The Moat;
- Access to the playing fields is unresolved;
- On-site commercial floor-space must be offered to local businesses;
- A condition should be placed on the permission that at least 65% of units for market sale should be 2/3 bedroom.

KCC Social Care Health and Wellbeing: - **support** the application stating: “developments of extra care in the right areas of need are a priority”. The KCC Social Care Accommodation Strategy has identified the future need for residential and nursing care homes and supported housing such as extra care and has identified a need for an extra care development in the Charing area.

Kent Police (Crime Prevention Design Advisor): - raises **no objections**. The applicant has considered crime prevention – a condition is recommended.

Environment Agency: The Drainage Strategy / SUDS report states that the scheme will be designed to comply with Ashford Borough Council’s Sustainable Drainage SPD and would welcome the inclusion of the open drainage measures such as ponds and swales which help to improve the water quality as well as attenuate flows prior to discharge. Recommends an informative to be attached to any planning permission advising of the possible need to obtain land drainage consent from KCC.

Natural England:

- considers that this development may be likely to affect landscape character in this locality
- requests a landscape and visual impact assessment.
- recommends that further information is sought from the local wildlife trust (see below)
- requests its standing advice is applied on protected species
- .considers that the application may provide opportunities to incorporate features beneficial to wildlife
- advises the authority to consider securing measures to enhance the biodiversity.

Weald of Kent Preservation Society: - supports the proposal and comments:

“What emerges is an innovative concept providing accommodation for elderly people who are no longer able to lead fully independent lives, with leisure facilities which will be shared by the local community; cafe, restaurant, gardens etc....However what seems to be missing from the application is a detailed account of the way the extra care will be administered. We see no reference to live-in warden or nursing staff, and one would expect there to be trained personnel of this kind in a large residential home....Regarding the outline planning permission for the market housing the plan looks attractive and provides houses of the size needed in the locality, and at this stage has our support.”

Kent Wildlife Trust: - no objection to the development in principle.

States that whilst the development does not threaten the wet conditions of the LWS – it lies downstream – the introduction of housing in such close proximity will give rise to an increase in recreational pressure on the woodland. Urges the council to seek greater clarity about the applicant’s biodiversity enhancement prescriptions:

1. How are the conflicting prescriptions for the alder beds (POS) in the landscape master plan and the biodiversity enhancement strategy to be resolved;
2. When is the enhancement strategy to be worked up into a plan and on-going work programme?
3. Who is to implement the enhancement plan?
4. How is the investment in the enhancement plan and its management to be funded?
5. Who is to be responsible for the on-going management and monitoring of the alder beds POS and other enhancement plan features?
6. What assistance is to be provided to the owner and the local conservation group currently restoring the LWS to address the additional recreational pressure likely to fall on the site?

In the absence of answers to the questions **the Trust objects** to the grant of planning permission for the development but is happy to reconsider its position in the light of the applicant’s response.

Environmental Health: no objection - accepts the conclusions of the soil report and has confirmed that no further action is required.

Charing Playing Field Committee: no objection subject to the gating of the access points from the site to the Playing Fields. The Committee has confirmed that it will allow Orbit to access its land to construct the access road and gates.

Southern Water raises no objections subject to relevant conditions.

Neighbours: 232 / 114 R 2S. The objections and concerns are as follows:

- Lack of clear evidence of a local need
- There is no evidence to show there is a need for an extra care facility of this scale in the village. Concern that this development would be serving the needs of the whole borough and not just Charing. The large number of extra care units will tip the balance of the village community to a majority aging population having a detrimental impact on the village which requires a diverse age of residents to be able to continue to thrive.
- Concern about the extent and nature of the pre-application consultation – that this was insufficient and that the Parish Council has not properly represented the views of local people.
- Adverse impact on existing facilities in the villages in particular the doctor's surgery, which is already at capacity, and High Street businesses, such as the café and hairdressers.
- The scale of the extra care building is inappropriate in a village setting – it would be significantly taller and larger than any other building in the village. It would substantially alter the appearance of Charing when approaching the village from the east along the A20 and in long views from the Downs and Petts Lane. The roof is bulky and would allow for future conversion of the roof space to provide more accommodation.
- Detrimental impact on surrounding properties in The Moat and Moat Park. Residents were told during the workshop session that the main extra care building would be at a lower level than the A20. In fact, the proposal is to raise the land to the same height as the A20 to facilitate the build.
- The main building will dominate their outlook give rise to overlooking and cast shadows across plots for significant portions of the day especially in winter with a huge impact on available daylight The bungalow closest to 26 The Moat would have a detrimental impact on this property.

(DM comment: This bungalow and the one adjoining it have been deleted from the scheme)

- The extra care building is of a poor design out of character with this village which is noted for its medieval history and Georgian character. Local buildings are built of warm bricks, flint, timber frames, Kent tiles etc. The proposed building needs to be 'restyled', so that it fits in.
- Concerned about the ecological impact of development on the Alder beds Local Wildlife Site and Moat woodland. These impacts do not appear to have been satisfactorily addressed. Furthermore, the proposal involves the loss of 47 mature trees and hedging which will impact adversely on birds and insects.
- Increased demands on drainage and water supply.
- The building works could obstruct the water which flows from the lake into the site and eventually to the Stour. Also, there is a ditch running across the site which takes water from the Moat lake to the culvert under the A20 – provision must be made for this flow. Development should not affect drainage of the playing fields – there is a pipe running across the site which takes water from the playing field to the ditch, and then to the culvert. The open ditch alongside the A20 should be retained;
- It was always planned that a wildlife corridor would be provided between The Moat estate and any new development to the east;
- The development will introduce further noise; traffic and light pollution into the village – this is a particular problem when the M20 is closed and motorway traffic is forced to use the village. The A20 is a busy, heavily trafficked road with high vehicle speeds (cars frequently drive in excess of the speed limit) and a large amount of freight traffic. It has a dreadful accident record. Given the amount of development that has been built/is planned along this stretch of the A20 and the number of accesses off it, the speed limit should be reduced from 40mph to 30mph.
- Concerned about creating a junction onto this stretch of the A20 given the accident record particularly when it would be used by high numbers of older drivers and also people dropping young children off at the Pavilion nursery or playing fields.
- The junction design is also considered unsafe – a roundabout or traffic lights should be a minimum requirement here. What about extending the dual carriageway towards the site requiring a reduction in the speed limit?
- The junction design will make it awkward for the residents in Moat Park to access their driveways.
- The proposals allow entry and exit into the site in both directions but only provide a filter for traffic entering the site. The proximity to the derestricted speed limit

significantly increases the risk of accidents on an already dangerous section of road.

- Insufficient parking and its impact in surrounding streets-: The parking strategy appears to take into account the minimum amount of spaces required for the residents with little allowance for visitors or customers to the retail outlets. Would Orbit consider running a minibus service to the railway station and other facilities to support this reduced level of parking?
- Parking will inevitably spill out into The Moat and Arthur Baker playing fields pavilion car park. The playing field is a village facility and should not be assumed to be part of the allowance for the developer to use as overflow parking. The new pavilion will entice more visitors to the area thus encouraging more traffic. Is there an intention to enlarge the existing car park? When events are taking place in the playing fields inconsiderate parking in The Moat creates problems for residents and also access to the playing fields for emergency vehicles.
- Cut Through - If the application were to go ahead it should be on the condition that the current vehicular access from The Moat to the Playing Fields be blocked off – bar and posts with padlock affixed to bar - as if it were not, it could be used as a short-cut causing a large increase in traffic in The Moat. To discourage visitors passing through the development to the playing fields a completely separate entrance for those wanting to access the playing fields should be considered directly from the A20.
- Understand that speed bumps are to be provided in the road from the A20 to the playing fields. Concerned that drivers will avoid this route and continue using the substandard route from the Moat to access the playing fields. The single lane width shown providing access to the pavilion and playing fields is totally inadequate – this should be dual width. This would be exacerbated further of provision of gates at entrance into field from development site. The Moat will continue to be used a parking area. Following closure of the existing access to the playing field from The Moat, a residents only parking scheme should be introduced to discourage any additional street parking in this restricted space;
- The plans do not show where the bus stop will be relocated to. Will it be removed all together? Will it be less convenient for existing residents? Buses already struggle to get through the village and this development will make it worse.

(DCM comment: bus stops on the A 20 will be retained although they may need to be slightly relocated to accommodate the access. They will be located as close to the existing positions as possible.)

Ashford Design Panel: - considered a scheme for the whole site, which included an indicative market housing layout, in October 2014. It considered the overall scheme

of the extra care facility to be well considered and encouraged further detailed work to be undertaken to refine the operation of the building, including the orientation of uses in particular the café and north facing flats; the relationship of the corner block units with the internal courtyard spaces and ensuring that all flats are naturally lit.

The panel highlighted the eclectic mix of architecture in Charing village and encouraged a contemporary architectural approach being pursued within the extra care facility which would be appropriate for this edge of village site. The panel considered the suggestion of a contemporary design combined with a local vernacular material palette as proposed to be well considered and appealing.

Second Round of Consultation (amended three-storey scheme)

Natural England – The advice provided in previous response equally applies to this amendment.

KCC H&T - No objection in principle subject to a number of technical issues being resolved and appropriate conditions.

Project Office – Many of the earlier concerns have been resolved and the holding direction has been withdrawn. No objection subject to a condition.

Charing Parish Council held an open meeting on 10th February 2015 to discuss the amendments to the proposals. The parish council **objects** to the proposals on the grounds that the amendments do not adequately address the concerns of local residents.

The parish council has indicated that it would support the proposal if the following changes were to be made to their satisfaction:

- Increase in extra care parking by a minimum of 15 spaces – an area could be found to the east of the access road to facilitate this;
- That the Borough Council put pressure on KCC Highways to reduce the speed limit to 30 mph and to provide traffic calming in Old Ashford Road and Dog Kennel Lane;
- That the proposed S106 payment in respect of healthcare costs should be used solely to benefit Charing surgery;
- That 65% of the open market dwellings are a good mix of 2 and 3 bed properties reflecting the shortage of this type of accommodation apparent from recent surveys;
- That it is put on record that the height and scale of the main extra care building is not accepted as the norm when it comes to any further development in the parish

Weald of Kent Preservation Society supports the concept of assisted living accommodation for elderly residents in Charing and neighbouring parishes, recognising that the extra care formula has been effective elsewhere. It advocates the inclusion of in-house nursing care.

It objects to the proposal on the following grounds:

1. Bulk and scale of extra care facility and non-compliance with Policy TRS5 d) in so far as it would result in a significant adverse impact on the character of the area and the surrounding landscape;
2. The design lacks integrity, particularly the varying roof lines;
3. Serious consideration needs to be given to the number of parking spaces.

The market housing should reflect the stated need for start-up housing for younger members of the community.

Neighbours: 232 neighbours were consulted on the amended scheme; 97 letters of objection have been received raising the following additional issues:

- The revisions to the scheme do little to address previous objections regarding the need for such a facility and its excessive height and scale.
- The increase in parking is not considered sufficient – the development would still result in overflow parking in The Moat and elsewhere. It has not been made clear how unlawful parking on footpaths etc. will be prevented.
- The impact on village facilities remains a concern, particularly the impact on the doctor's surgery (which is already at capacity) and the high street café. It is insulting that the developers are duplicating high street uses and considering putting a coffee chain within the facility.
- Although the proposal includes widening of the footpath along the A20 for use by pedestrians and cyclists, it fails to secure the widening of other footpaths in the village, such as the one to the surgery and railway station, that are also inadequate.
- Concerns remain about the safety of the proposed junction with the A20, given the speed of traffic on this part of Maidstone Road.
- The traffic survey was carried out in June 2013 and therefore takes no account of Operation Stack or other motorway closures.
- Objects to the loss of the two bungalows as this is the type of accommodation that elderly people want to live in and should be increased.

1 general comment has been received raising the following additional issues:

- How do the Council intend to control traffic approaching the entrance to the development once it is completed given high traffic speeds in Maidstone Road? Traffic calming is suggested.

Third Round of Consultation (2-storey scheme):

Environment Agency – No formal comments received.

Natural England – The advice provided in their previous response applies equally to this amendment.

Kent Wildlife Trust – No objection in principle and welcomes the proposed package of ecological mitigation. In the absence of a commitment to provide a management plan for the Alder Wood and Fen, it objects to the development.

KCC H&T – Initially raised an objection based on the level of parking for this revised tenure scheme. Following the submission of a revised plan showing an increase in the level of on-site parking for the affordable housing scheme, no objections are raised.

Kent Police (Crime Prevention Design Advisor) - raises no objections subject to an appropriate condition.

Kent Downs AONB Unit – No objection in principle to the development of this site but is keen to ensure that the impact of development on views from the AONB is appropriately mitigated, in accordance with the Management Plan. In this respect, it is concerned at the proposed use of pale colours on the southern and eastern elevations and would be looking to see something that blends into the landscape more. It advocates the use of brick or natural wood weatherboarding or an appropriately muted paint colour. It would also like to see the use of lighting managed.

KCC Ecological Advice Service – Is satisfied that the ecological interest of the proposed development site can be retained if the mitigation detailed within the submitted report is implemented and managed appropriately. To demonstrate that the wildlife area will be managed appropriately, it has recommended that an outline management plan is produced and provided prior to determination. This should include measures to actively prevent access from the development in to the Ancient Woodland and the Alder Wood and Fen LWS in order to reduce the recreational pressures on these designated sites. A condition is advised in respect of Enhancements.

NHS Canterbury and Coastal Clinical Commissioning Group – has made a request in respect of S106 contributions for this scheme.

ABC Housing Services – Has provided background on the application, which is included in the relevant sections of this report.

Project Office (Drainage) – No objections subject to a condition.

KCC Flood Risk Unit: views awaited.

Environmental Protection – No objection subject to a condition

Charing Parish Council Objects on the following grounds:

- Limited evidence of need; very little rental accommodation - contrary to Policy TRS5
- The limited time of three months that priority is to be given to local residents is inadequate
- Accept that the revisions to the scheme address previous concerns about the height of the building – note concerns raised by local people about the pitch of the bungalow roofs
- The building will no longer be extra care, merely age restricted housing – Is there demand for this sort of accommodation? The lack of rental accommodation is a major drawback
- Whilst understanding that compromises need to be made in the wake of changes in government guidance on viability the compromises here are extreme and alter the whole nature of the scheme
- A new and current housing needs survey is required to support the proposal
- The bungalows take up 10 of the 51 proposed parking spaces leaving just 41 for the 46 flats and for visitors and staff. Given that residents will be less frail there is a need for more parking
- Parking pressures on surrounding streets and parking area within recreation ground
- The fact that a lockable gate is now proposed with the playing fields undermines one of the reasons for the development in the first place
- Potential drainage issues
- Concerned about damage to topography and water characteristics of the land
- The proposals do not provide 35% affordable housing in line with council policy

Moat Management Company –No formal comments have been received. The Chairman, a local resident, has pointed out that the water from the adjoining Moat runs onto the land proposed for building. There is also the issue of security around the site along the perimeter fence with the Moat.

Neighbours 232 neighbours were consulted on the amended scheme; 23 letters of objection have been received raising the following issues:

- The site policy CHAR1 requires a rate of construction of 35 dwellings and if we can get back to that density then there is more scope for quality design.
- Lack of evidence of need - The amended scheme disregards any pretence of satisfying need and thus blatantly disregards the criteria required for exception sites under policy TRS5
- Inclusion of market housing on an exception site contrary to TRS5
- The CHAR1 housing scheme should include its element of affordable housing
- Poor location as the site is dominated by the A20 which is busy and noisy
- The layout of housing across the site is crowded with poorly integrated dividing up the generations
- The single large block should be changed into two buildings with a 'U' shaped floor plan or a single 'H' shaped block and a better mix of accommodation, including some extra care
- A bund is needed along the A20 using excess soil from construction or alternatively a sound absorbing fence
- A development aiming at the quality of Attwater Court, Lenham might attract more support
- Disappointing to see this application resurrected which nobody wants being neither necessary or useful
- The scheme fails to provide the properties that are needed in the village ie. affordable smaller properties for older people looking to scale down and starter homes. More bungalows are needed
- There is still inadequate parking; the change from extra care to age restricted housing will result in a demand for more housing
- The original scheme agreed by the parish was for 35 houses to support a local need

- Poor design; featureless construction; out of scale and out of character with surroundings; poor development at gateway into Charing
- Concerns about impact of development on the Alderbed LWS
- Water drainage problems – The development is on the spring line. If development takes place, the springs will run off across fertilised flower beds, through compost heaps and across tarmac with the pollutants carried to The Great Stour contrary to the European Water Framework Directive
- All drainage and construction systems must take account of the sites hydrology and existing drainage patterns and incorporate the water volume within the drainage infrastructure
- Fears about pumping due to clay soils (as has happened at Poppy Fields)
- It would significantly impact upon the amenity of neighbouring properties by virtue of noise, light, traffic flow, pedestrian movement, congestion in the recreation parking area and on the Moat roads
- Difficulties in identifying current information due to the amount of information on the website; Lack of clarity as to what is now proposed
- Concerned about new accesses onto Charing Road on highway safety grounds
- Concerned about through traffic using The Moat

1 letter of support has been received raising the following issues:

- This is just the kind of development that Charing needs allowing older residents in larger accommodation to move to a smaller more manageable property
- Good location; walking distance to the High Street and no need to cross a major road

1 comment has been received raising the following issues:

- Would it be possible to restrict the present access to the playing field to pedestrian and cycles by placing a locked bollard in the centre – the key supplied to the nursery and pavilion
- What consideration has been given to protected species in the Alderbed meadow?

Planning Policy

31. The Development Plan comprises the saved policies in the adopted Ashford Borough Local Plan 2000, the adopted LDF Core Strategy 2008, the adopted Ashford Town Centre Action Area Plan 2010, the Tenterden & Rural Sites DPD 2010, the Urban Sites and Infrastructure DPD 2012, the Chilmington Green AAP 2013 and the Wye Neighbourhood Plan 2015-30. On 9 June 2016 the Council approved a consultation version of the Local Plan to 2030. Consultation commenced on 15 June 2016 and ended on 10 August 2016. At present the policies in this emerging plan can be accorded little or no weight.
32. The relevant policies from the Development Plan relating to this application are as follows:-

Ashford Borough Local Plan 2000

LE5 – Provision of equipped public open space in developments with a capacity of 15 or more dwellings

LE6 – Off-site Provision of Public Open Space (in circumstances where it cannot be provided within the development)

CF6 – Standard of Construction of Sewerage Systems

CF8 – Renewable Energy

CF21 – School Requirements for New Housing Development

TP6 – Cycle Provision

EN30 – Nature Conservation Sites

EN32 – Important Trees and Woodland

Local Development Framework Core Strategy 2008

CS1 – Guiding principles for sustainable development and high quality design.

CS2 – The Borough Wide Strategy

CS6 – The Rural Settlement Hierarchy

CS8 – Infrastructure Contributions

CS9 – Design Quality

CS10 – Sustainable Development and Construction

CS11 – Biodiversity and Geological Conservation

CS13 – A Range of Dwelling Types and Sizes based on a careful assessment of local housing needs

CS15 – Transport – development proposals to show how highway, public transport, walking and cycling needs will be satisfied

CS18 – Meeting the Community's Needs

CS19 – Development and Flood Risk

CS20 – Sustainable Drainage

CS21- Water Supply and Treatment

Tenterden & Rural Sites DPD 2010

Policy CHAR1 – Land South of Arthur Baker Playing Fields

The land south of the Arthur Baker playing fields is proposed for residential development (indicative capacity of 35 units).

Development proposals for the site shall:

- a) provide a vehicular, pedestrian and cycle link from the A20 through the site to the adjoin Arthur Baker playing fields;
- b) provide footpath and cycleway links to the playing fields;
- c) be designed to include a built-up frontage to the A20 (and provide footpath and cycle links along the frontage);
- d) to provide a landscaped edge to the development along the south eastern edge of the site;
- e) include a mix of dwelling types and sizes as required by Policy CS12 of the Core Strategy;
- f) provide affordable housing as required by Policy CS12 of the Core Strategy;

- g) provide play equipment on the adjacent playing field in accordance with 'saved' policy LE7 of the Borough Local plan 2000 or, any subsequent SPD superseding that policy;
- h) provide a financial contribution towards the maintenance of the adjacent playing field, including play equipment, in accordance with 'saved' policy LE9 of the Borough Local Plan 2000, or nay subsequent SPD superseding that policy; and,
- i) provide a financial contribution towards the provision of a new or upgraded pavilion at the Arthur Baker playing field.

Policy TRS5 Exception sites for specialist housing schemes

Planning permission will be granted for proposals for local needs housing within or adjoining rural settlements listed in paragraph 2.5 (i) as 'exceptions' to policies restraining housing development provided that all the following criteria are met:-

- (a) The local need justification for the scheme has been clearly evidenced within the Parish or group of Parishes;
- (b) The proposal does not include general market housing;
- (c) The occupancy of the residential dwellings are managed and controlled to ensure the scheme is available to local people who have a requirement for such specialist housing in perpetuity;
- d) the development is well designed and would not result in a significant adverse impact on the character of the area or the surrounding landscape; and,
- e) there would be no significant impact on the amenities of any neighbouring residential occupiers.

Policy TRS17 – Landscape Character and Design

Policy TRS18 – Important rural features

Ashford Local Plan (2016)

SP1 – Strategic Objectives

SP2 – The Strategic Approach to Housing Delivery

SP6 – Promoting High Quality Design

S29 – Charing – Land south of the Arthur Baker Playing Field

HOU1 – Affordable Housing

HOU2 – Local Needs/Specialist Housing

HOU4 – Residential Development in the Rural Settlements

HOU12 – Residential Space Standards – Internal

HOU14 – Accessibility Standards

HOU15 – Private External Open Space

TRA3a – Parking standards for residential development

TRA5 – Planning for pedestrians

TRA6 - Provision for cycling

ENV1 – Biodiversity

ENV3 – Landscape Character and Design

ENV4 – Light Pollution and Promoting Dark Skies

ENV5 – Protecting Important Rural Features

ENV6 – Flood Risk

ENV7 - Water Efficiency

ENV8 – Water Quality, Supply and Treatment

ENV9 – Sustainable Drainage

ENV12 – Air Quality

COM1 – Meeting the Communities Needs

33. The following are also material to the determination of this application:-

Supplementary Planning Guidance/Documents

Public Green Space and Water SPD (July 2012)

Landscape Character SPD (April 2011)

Residential Space and Layout SPD (October 2011) – External only

Sustainable Drainage SPD (October 2010)

Residential Parking and Design Guidance SPD (October 2010)

Dark Skies SPD (2014)

Charing Village Design Statement

Government Advice

National Planning Policy Framework 2012

34. Members should note that the determination must be made in accordance with the Development Plan unless material considerations indicate otherwise. A significant material consideration is the National Planning Policy Framework (NPPF). The NPPF says that less weight should be given to the policies above if they are in conflict with the NPPF.
35. Para 50 of the NPPF concerns the delivery of a wide choice of high quality homes. It requires local planning authorities, amongst other things, to “plan for a mix of housing based on current and future demographic trends, market trends and the needs of different groups in the community (such as, but not limited to, families with children, older people, people with disabilities...)”
36. Para 56 of the NPPF sets out the great importance the Government attached to the design of the built environment.
37. Para 62 encourages local planning authorities to have local design review arrangements in place to provide assessment and support to ensure high standards of design.

Assessment

Background to development

38. The Council’s Housing Services department has provided background information to the scheme.
39. The proposed older person scheme in Charing came about following a request by a number of parishes, in 2008, to consider how to best meet the housing needs of older people so they do not have to move away to find suitable accommodation when, for whatever reason, they no longer wish to

remain in their current home. Scoping meetings were held with interested parishes to discuss what they wanted to achieve. It was recognised that for a development to be viable it would need to serve a number of neighbouring villages and therefore the parishes were grouped into clusters. These clusters considered where there could potentially be suitable sites and worked with the Borough Council to undertake surveys to assess the demand for older persons' accommodation. Orbit housing Association was selected by the cluster to work with them on developing an extra care scheme.

40. To ensure all possible options were considered a workshop was held in May 2012 that identified the site on the A20 as a suitable location for such a development. Working with Orbit the original extra care proposal was drawn up through a series of consultations and discussions with the local community and the Parish Council, including a design workshop for the allocated CHAR1 site and the extra care site held in October 2013. The design workshop was facilitated by the Borough Council and Orbit Housing Association on behalf of Charing Parish Council. A further public consultation event was held in the October 2014. The original proposal in November 2014 was for a scheme of 68 units of extra care accommodation including a range of community facilities. This was amended in January 2015 giving a total of 66 units together with some design amendments.
41. In the last year there have been significant, nationally imposed changes to how supported housing such as extra care and sheltered housing are funded. This has implications for the sustainability of new schemes coming forward. In response to this and the need to reduce the number of flats and shared facilities to address local concerns, the tenure and facilities offered have changed to ensure the scheme is financially viable. The amended scheme is 100% age restricted affordable housing comprising 12 rented units and 39 shared ownership units; a communal lounge being the only shared facility.

The main issues for consideration are:

- The principle of development and compliance with the specific site and local needs policies of the Development Plan;
- Compliance with CHAR1;
- Impact on visual amenity of the area and character of the countryside;
- Layout and Design and Residential Amenity;
- The quality of public open spaces including parking and circulation;
- Access, Highways and Junction Safety;

- Drainage and SUDS;
- Biodiversity

The principle of development

42. In policy terms the application site is in two parts
- CHAR1 allocated in the Tenterden and Rural sites DPD for general market housing (indicative capacity 35 dwellings), and
 - land to the south where development would not normally be permitted unless under the exception criteria identified in policy TRS5 of TRSDPD.
43. Both of these policies, taken together, would in principle allow development across the whole of the application site subject to meeting tenure and environmental constraint criteria which are considered later in the report.
44. The proposals are unusual in that the application proposes both general market and affordable local needs housing (formerly extra care) but not on the parts of the site identified in adopted policy for those uses – in effect the sites have been “swapped” although part of the general demand proposal is on allocated land. To comply with the policy would however, result in the local needs, affordable housing being furthest away from the centre of Charing. This would be in direct opposition to the express wishes of local people and the parish council, who at the meetings and workshops referred to above wanted the local needs, affordable element to be closest to the High Street, Market place, Church and open spaces. In addition it would mean that the densest part of the scheme in visual terms is not bordering open countryside.
45. A pragmatic solution was therefore to swop the elements of the scheme over, so that the local needs affordable element is on a significant part of the CHAR1 allocation and the general market housing is on both CHAR1 and the land where, in principle, local needs housing would be acceptable.
46. Although this does not comply with policy TRS5, the Planning Committee is recommended to support this pragmatic approach as long as other relevant tests are met.

Specialist housing exception policy (TRS5)

47. To release land as an exception site, under policy TRS5, there must be a proven and identifiable local need for the housing proposed.
48. Two housing needs surveys have been undertaken locally with a focus on housing for older people.

49. In 2010 a number of parishes took part in a survey to determine older persons housing needs across a number of nearby parishes. The two tables below summarise the two questions that were asked that relate to type of housing and tenure.

Question: What sort of accommodation would you prefer?

Parish	More suitable ordinary housing	Sheltered	Extra care
Charing	8	9	4
Pluckley	25	12	8
Egerton	43	18	9
Little Chart	7	3	2
Smarden	41	21	14
Bethersden	5	2	4
Total	129	65	41

Question: What tenure would you consider?

Parish	Leasehold	Rented	Shared Ownership
Charing	0	24	1
Pluckley	12	17	14
Egerton	29	23	19
Little Chart	6	3	4
Smarden	26	26	19
Bethersden	0	15	0
Total	73	108	57

50. Below are extracts from the 2014 housing needs survey carried out in Charing parish to provide further information on the housing needs of local residents to help inform future development in the parish.

Question 5. How many people in each age group need alternative accommodation?

AGE	0 – 9	10 -15	16 - 19	20 -24	25 - 44	45 - 59	60 - 74	75+
Total	12	9	6	13	32	21	62	28

51. This indicates that at the time of the survey 90 people over the age of 60 were seeking alternative accommodation in the parish.

Question 6. Why are you seeking a new home?

52. Within the responses to this question, 30 respondents indicated they were seeking alternative accommodation due to age/infirmity.

Question 11. What type of housing do you need?

53. 20 respondents indicated accommodation suitable for older people without support and 14 respondents indicated extra care housing
54. The summary of housing needs showed 59 households with members over 60.
- 21 households were seeking affordable housing
 - 14 households were seeking extra care housing
 - 24 households were seeking open market housing
55. Shared ownership properties could be attractive to those who indicated open market purchase as existing owner occupiers have purchased shared ownership properties in the two extra care schemes located in the borough, Chamberlain Manor (Ashford) and Quarry House (Aldington).
56. As older people move from existing accommodation this creates movement in the housing market (both for sale and in rented) potentially freeing up a range of family homes.

Older person demographics

57. Nationally it is noted that the population is ageing and a range of accommodation is required to meet a variety of needs from homes for active older people through to nursing care for the very frail and infirm.

Interrogation of census data at parish level to assess change in the population is tabulated below

Parish	% of population over 60 in 2001	% of population over 60 in 2011	Actual increase
Charing	32	36	147
Challock	25	29	52
Westwell	21	28	43
Hothfield	33	33	- 31
Little Chart	24	30	14
Pluckley	23	28	53
Egerton	23	34	103
Smarden	23	28	81
Bethersden	25	35	158
		<i>Total</i>	<i>620</i>

58. The Kent County Council Accommodation Strategy (July 2014) considers the needs of older people and states:

‘The number of people aged over 55 is set to increase dramatically over the next twenty years, an estimated population increase of nearly 50% from 490,000 in 2008 to 720,000 by 2031. There has been a huge rise in the number of over 55’s who are owner occupiers and this number is set to grow with three out of four people aged over 55 being a homeowner by 2031.

The increase in the over 55 population and the amount of potential equity held by this client group will have a significant bearing upon the housing aspirations and expectations should they consider moving from their current family home to specialised accommodation. Older people have many different needs and aspirations for their accommodation solutions in later life and so a good mix of accommodation types is required to meet these varied needs and aspirations.’

The Strategy further comments:

‘Without suitable attractive offers of alternative housing and care home solutions, older people will remain in potentially unsuitable, hard to maintain housing. This will result in the poor health and wellbeing of an individual, coupled with an increased demand upon health and social care services. The offer of alternative accommodation needs to be attractive, well designed and allow integration into an existing community. The accommodation offers will need to appeal to a range of ages and needs, including a variety of care needs. The accommodation should not feel clinical; it should be bespoke, flexible and offer choice where possible.’

59. In summary, the principle of open market housing is acceptable on CHAR1. Evidence of local need for housing for older people is significant and therefore land here could be released under policy TRS5 for development. The approach of the applicants to swop the general market housing allocation with the local needs site is appropriate and this principle has local support.

Compliance with policy CHAR1

60. This policy has a number of criteria which have to be satisfied as follows

	Criterion	Comment (but see also comments in the remainder of the report on some of these aspects)
a)	Provide a vehicular, pedestrian and cycle link from the A20	An effective access is provided but see discussion of local concerns about safety of access onto A20 below

	through the site to the adjoining Arthur Baker playing fields.	
b)	provide footpath and cycleway links to the playing fields;	These are provided within the detailed part of the application
c)	be designed to include a built-up frontage to the A20 (and provide footpath and cycle links along the frontage);	<p>A built up frontage is provided satisfactorily by the extra care development and is softened by an earth mound, level changes and planting. The impact of the scale of the building is discussed below.</p> <p>Footway cycle ways are proposed across the frontage of the CHAR1 part of the site linking to the existing network to the north. This gives safe access from the site into the village for pedestrians and cyclists.</p>
d)	provide a landscaped edge to the development along the south eastern edge of the site;	As the site has been extended this aspect is resolved by the proposal to retain and enhance the boundary trees at the southern end of the application site.
e)	include a mix of dwelling types and sizes as required by Policy CS13 of the Core Strategy;	The detailed part of the application provides a type of housing which is currently uncommon in the rural areas. The mix of the market housing can be controlled by condition if planning permission is granted and this condition can include a requirement for a significant proportion to be 2 and 3 bed units to reflect the current market demand and the request of the Parish Council.
f)	provide affordable housing as required by Policy CS12 of the Core Strategy.	The local needs age restricted affordable housing will be provided on an affordable rent (24%) and shared equity (76 %) basis. In the light of the number of units being provided on the detailed part of the site it would not be appropriate to seek further affordable dwellings from the outline, general market part of the site. Affordable market housing is currently

		being provided in the village as part of the CHAR2 permission.
g)	provide play equipment on the adjacent playing field in accordance with 'saved' policy LE7 of the Borough Local Plan 2000 or, any subsequent SPD superseding that policy;	Can be achieved through an appropriate s106 agreement if planning permission is granted. Clearly this requirement should only apply to the open market housing and not to the dwellings restricted only to older people.
h)	provide a financial contribution towards the maintenance of the adjacent playing field, including play equipment, in accordance with 'saved' policy LE9 of the Borough Local Plan 2000, or any subsequent SPD superseding that policy;	Can be achieved through an appropriate s106 agreement if planning permission is granted.
i)	provide a financial contribution towards the provision of a new or upgraded pavilion at the Arthur Baker playing field	Can be achieved through an appropriate s106 agreement if planning permission is granted.

Impact on visual amenity and character of the area

61. The characteristics of the area are described in the Landscape Character assessment. It is a curved belt of gently undulating land running parallel to the North Downs. Due to the sites proximity to the AONB, Natural England has requested a landscape and visual impact assessment. However, the main views from the AONB and the North Downs are long distance over the houses in Pett Lane and the playing fields. The assessment in the D & A statement shows how the element visible from this direction would be the roof tops of the new buildings interspersed with trees, similar to the current views over the village and the impact would not be significant. On this basis, it was considered that the impact had been adequately assessed and so a full landscape character assessment was not requested (see figure 9 which is for a three storey extra care building). The current proposal for a two-storey dwelling would have even less of an impact on the landscape.
62. Policy TRS5 states that the development should be well designed and should not result in a significant impact on the character of the area or the surrounding landscape. Policy TRS17 seeks to protect the character of the

countryside in the borough. The careful analysis of building types in the village and reference to the Village Design Statement has informed the architectural approach to the sheltered housing building. The use of framing, jetties and traditional materials, albeit with a modern interpretation, are an imaginative and effective response to the architectural challenges of the site. At two storeys, the impact of the open market housing on the character of the area and surrounding landscape will be minimal. Roofs should have a simple pitch roofed design using traditional materials; the boundary treatment and landscaping should ensure filtered views of the development from the surrounding countryside. The market sale units along the A20 frontage represent an opportunity to provide an attractive entrance into the village with buildings of a residential scale and appropriate landscaping.

63. The original extra care building was large and prominent in views from the A 20. The significant reduction in the height of the building will reduce its prominence. The proposed building must be considered in conjunction with the proposed open market housing to the south. The open market housing provides the opportunity for a transition from the open countryside to the larger scale (albeit just 2-storeys) age restricted affordable housing scheme. Once the whole site is developed, the larger building will be seen in a different context from the site now. Views from the North are limited, whilst views from the East will be mitigated by boundary planting.
64. The building would not read as a single block in views from the surrounding streets and open spaces, rather a series of buildings with variety in ridge heights and set back; materials and detailing. The roofs have a consistent pitch which holds the building together with consistency of detailing and a controlled palette of materials whilst the richness to the elevations ensures that there is variety in the streetscape. The balconies on the public faces of the building play an important role in adding to this variety and interest.
65. A painted steel framing system of balcony supports is proposed which creates a light framework reminiscent of the timber framed buildings around the village with a small jettying out of the first floor, also picking up on local vernacular. This contemporary take on a traditional form and detailing is combined with the use of a palette of mostly traditional materials: clay plain tiles to all pitched roofs; red brick to match that found locally in the village and white boarded elements. The balconies have steel rectangular external frames with glazed balustrading and some vertical timber screened for privacy purposes. The Kent Downs AONB unit has raised concerns about the use of pale colours on the southern and eastern elevations which are visible from the AONB. As the precise materials palette is to be controlled by condition this is something that can be given further consideration.
66. The traditional roof forms and 'clean' roof profiles together with the use of natural clay roof tiles provide an appropriate architectural response which will

help reduce the impact of the development in long views from the surrounding area and the AONB. The proposed landscaping strategy would also help reduce the impact of the building by retaining and enhancing boundary planting and introducing a new landscape within the site which would help filter views.

67. Along the boundary with the A20, it is proposed that an earth mound is introduced which together with the proposed boundary planting to the top of the mound will help reduce the impact of the building from the A20 still further.
68. For the reasons given above, it is considered that the development is not contrary to the relevant sections of policies TRS5 and TRS17 of the Tenterden and Rural Sites DPD and would not impact upon the setting of the adjoining Conservation Area.



Figure 9: Before and after Views from Pilgrims Way on North Downs shows new buildings coloured red (this is for the extra care facility and includes possible housing on outline site) I assume they wouldn't be red!

Layout and Design and Residential Amenity

69. The scale and form of the main building has evolved from a detailed analysis of traditional forms found in the village; steeply pitched roofs, jettied floors and building heights of 2 and 3 storeys. It is also related to the number of units that are proposed and the need to achieve a 'compact' building form where internal corridors are kept as short as possible to minimise internal travel distances for residents, many of whom will have mobility problems.
70. The proposal therefore naturally lends itself to traditional building forms arranged tightly around a courtyard: a contextual and relatively compact solution which also has the advantage of enclosing open space. This space can be used as a secure garden for residents; it also allows light into the inside of the building maximising the infiltration of natural daylight thereby improving the quality of the internal environment. The architects have considerable experience of designing this type of accommodation and maintain that this is a tried and tested building form that provides a high quality living environment.
71. The architects have followed best practise principles – the HAPPI principles - to ensure the living accommodation is of a high standard. To achieve a light and airy internal environment, the architects have provided higher ceiling heights (2.6m) than required by the standards. Whilst this raises the height of the building slightly it greatly improves the quality of the internal environment. The more recent design changes to the building (including the deletion of second floor accommodation) have been taken on by different architects, who have remained true to the original design concept.
72. The 5 bungalows are organised as a terrace of three and a semi along the boundary of the site with The Moat. They are of an understated design with clay tile pitched roofs and red brick to match the main building.



Figure 10: Front elevation of bungalows

73. Since the scheme was first submitted the number of bungalows has been decreased from 7 to 5 to 'free up' space within the development for greening/parking (The parking for the bungalows is on each plot). This has also shifted the development further away from properties in The Moat and from boundary trees.
74. I consider that the bungalows will provide a high quality of design. It is not considered that they would impact adversely on properties in The Moat or on boundary trees either in terms of overlooking or overshadowing or having an overbearing impact.

The quality of public open spaces including parking and circulation

75. The design aims to provide open spaces which allow for the integration of parking, to meet the Council's standard, whilst achieving a green landscaped setting for the buildings as a whole and a recreational resource for residents. Amendments to the plans since the application was first submitted have improved the quality of these open spaces. The deletion of two of the bungalows has provided alternative, more discrete, space for parking freeing up space elsewhere within the site for greening. The swale along the route into the site is now completely free of parking providing a green entrance into the site.
76. Although collectively these changes have generally improved the quality of the public open spaces around the main building, it is recognised that this part of the proposal is still short in the provision of public open space when assessed against the Green Spaces SPD. However, given the specialist nature of the housing and the adjacency of the existing public open space of the playing fields officers are of the view that it would be difficult to refuse the application on this ground. Residents of the main building will also have the private courtyard garden at their disposal as well as their own private terrace or balcony area and residents of the bungalows would have their own back gardens. The outline part of the scheme (market housing) will need to make a financial contributions towards the provision of off-site public open space through the legal agreement.
77. The Tree Officer has indicated that with the amendments to the scheme the impact on most retained trees will not be significant and those to be lost are condition C and of relatively low amenity value. An issue has however been highlighted in respect of development on the 'outline' part of the site where there is a need to set any development back from within the RPAs of T11 to 16.
78. Many residents have raised concerns about over-flow parking arising from the development. The Playing Fields Association has expressed concern that

visitors to the development could park in their car park if there is insufficient parking provided on site. Of course, this could work the other way with people using the playing fields or pavilion parking around the age-restricted dwellings attracted by the better access from the A20.

79. The level of parking has been increased a number of times since the application was first submitted to respond to concerns raised by the public and to reflect the new tenure mix. Initially it was at 41 spaces, and then 51. The new parking level is at 66 (in spite of the fact that the number of units has gone down) and has the support of KCC Highways and Transportation. The proposed parking reflects the changed nature of the scheme (from extra care to age restricted affordable housing) which has triggered the need for more parking on site (2 spaces for each of the bungalows and 1 for each of the flats), together with 10 visitor spaces.
80. Parking is mostly concentrated in the open space between the care home and bungalows, including the area to the rear of 26 The Moat, partially beneath the canopy of the *Wellingtonia* tree. Very careful detailing will be required to ensure that this space provides a high quality environment. The area beneath the *Wellingtonia* will require a no-dig surface so that it doesn't impact on tree roots - a loose gravel surface is recommended which will soften the impact of this area of hard standing and be more in keeping with this part of the site.
81. The proposal makes provision for a vehicular route through the site to serve the playing fields car park in accordance with Policy CHAR1 (a). During the consultation, a number of residents raised concerns about the potential for this route to be used as a cut through between The Moat and the A20 should access from The Moat for vehicles remain open. It is not within the applicants control to close off the existing access from The Moat. It is now proposed that the vehicular route into the playing field car park from the application site will be gated at the boundary of the site. This gate will need to remain closed until such time as the entrance from The Moat is shut off to vehicles and the Association is satisfied with the arrangements in place. This can be covered by condition.

Access, Highways and Junction Safety

82. A number of local residents have raised concerns about the safety of the proposed junction with the A20 given the high vehicle speeds on this part of Maidstone Road. They say that people are frequently driving in excess of the speed limit of 40mph. It has been pointed out that a lot of the people using this new junction will be elderly people or parents dropping off their children for sporting events at the pavilion (which is also used as a crèche). With more development adjacent to the A20, residents believe there is a strong case for

reducing the speed limit from 40 mph to 30 mph and for introducing traffic calming to help reduce vehicle speeds on this stretch of the A20.

83. KCC Highways has responded that the site access junction with the A20 has adequate sightlines in both directions and is therefore safe. If speeds are higher than the 40mph speed limit, then this is an enforcement issue and the Parish Council or members of the public should request that the police actively enforce the 40mph speed limit.
84. The request to reduce the speed limit to 30mph is not supported by KCC Highways and is unlikely to receive support from Kent Police as speed limits should be self-enforcing. The extract below is taken from government circular (01/2013) which clarifies why the 40mph current limit is acceptable.

40	On higher quality suburban roads or those on the outskirts of urban areas where there is little development, with few cyclists, pedestrians or equestrians. On roads with good width and layout, parking and waiting restrictions in operation, and buildings set back from the road. On roads that, wherever possible, cater for the needs of non-motorised users through segregation of road space, and have adequate footways and crossing places.
----	---

85. The A20 forms part of the strategic road network in Kent. Within Charing on the A20 there is very little frontage development and where there is, it normally only takes place on one side of the road. Furthermore A roads cannot have any form of traffic calming on them. A new pedestrian crossing is being provided which should help pedestrians cross the A20.

Sustainable Drainage (SUDS)

86. The detailed part of the scheme makes adequate provision for surface water drainage consistent with the requirements of the Sustainable Drainage SPD. As no fixed number of dwellings is proposed for the outline part of the site, appropriate SUDS can be achieved as part of any future reserved matters application by condition.

Biodiversity

87. The site is currently used for sheep grazing. Tree cover is typical of the land use with trees and hedges located along boundaries. These are largely self-sown Ash and Sycamore with a group of Poplar (these will be removed) for screening and a shelter belt. The adjoining Alder beds Local Wildlife Site is

an area with local biodiversity value: the woodland and meadow are dependent upon the site remaining characteristically wet and relatively undisturbed. Kent Wildlife Trust has stated that whilst the development does not threaten the wet conditions of the LWS – it lies downstream – the introduction of housing in such close proximity will give rise to an increase in recreational pressure on the woodland. This concern has also been raised by KCC Biodiversity.

88. Protecting the Alder beds is an important planning consideration and any residential layout for the private housing needs to provide an adequate 'buffer' to help address recreational pressures. Policy CHAR1 (d) requires that a landscaped edge to the development is provided along the south eastern edge of the site. Now that the site has been enlarged to include the adjacent pastureland, it is essential that this landscaped edge is extended to include the entire boundary of the site with the open countryside.
89. KCC Biodiversity has confirmed that the construction of the proposed development is unlikely to have a negative impact on the designated site but that there is a risk there will be impacts due to recreational pressure from future residents. Although there is no direct access from the site to the LWS there is a risk that residents will create unofficial access points from the development site / wildlife area. To address this issue KCC Biodiversity has identified that there is a need to ensure that the wildlife area and hedgerows are actively managed and designed to prevent access to the LWS. They recommended that an outline management plan was produced for the proposed wildlife area to demonstrate that it would be appropriately managed, including its boundaries with the LWS. Such a plan has been produced and at the time of finalising this report is being considered by KCC Biodiversity. Further details will be provided in the Update Report.
90. In addition, any development needs to ensure compliance with Policy CS11 which aims to avoid harm to biodiversity and geological conservation interests. These elements can be achieved within the outline part of the site and can be controlled by a condition on any grant of planning permission.
91. The applicant's ecological scoping survey identified the need for further survey work to take into account the possible presence of great crested newts, water shrew and reptiles. This further survey showed a relatively high population of viviparous lizard and a low population of slow worm with no other reptile species recorded. Mitigation and enhancement measures are identified and appropriate conditions can be attached to any permission.
92. Natural England and KCC Biodiversity has commented on the opportunities presented by this proposal to incorporate features into the design which are beneficial to wildlife. Measures to enhance biodiversity can be secured

through the planning process (Paragraph 118 of the NPPF). Additionally, Section 40 of the Natural Environment and Rural Communities Act (2006) states that 'Every public authority must, in exercising its functions, have regard, so far as is consistent with the proper exercise of those functions, to the purpose of conserving biodiversity'. Section 40(3) of the same Act also states that 'conserving biodiversity includes, in relation to a living organism or type of habitat, restoring or enhancing a population or habitat'. The applicants have submitted an Ecology and Biodiversity Enhancement Strategy as part of their proposal (Lloyd bore) which provides detailed guidance for achieving biodiversity enhancement within the site. I intend to condition this permission application to ensure adherence to this strategy.

Other matters

93. Concerns were raised to the original extra care scheme, which included an on-site restaurant and café, about its impact on local services within the High Street. These facilities have been deleted from the amended scheme.
94. As far as the impact on health services is concerned, any permission will require a financial contribution to be made through the completion of a S106 agreement. The details of this are set out in table 1 below but will result in a contribution from the age restricted housing scheme. This would be a contribution towards capital expenditure rather than the running costs of the surgery which are funded from elsewhere. Should the market housing come forward on the outline part of the site then a further contribution will be required depending upon the number of dwellings and their size.
95. In any event as the affordable housing element would be restricted to people meeting the local needs criteria, many of the future occupiers are likely to already be resident in Charing or in nearby villages and therefore are highly likely to already be registered with the local GP surgery and receiving services from the surgery. In my view, it is unlikely that the level of impact will consequently be as significant as local people are suggesting.

Planning Obligations

96. Regulation 122 of the Community Infrastructure Regulations 2010 says that a planning obligation may only constitute a reason for granting planning permission for a development if the obligation is:
 - (a) necessary to make the development acceptable in planning terms,
 - (b) directly related to the development; and
 - (c) fairly and reasonably related in scale and kind to the development

97. I recommend the planning obligations in Table 1 be required should the Committee resolve to grant permission. I have assessed them against Regulation 122 and for the reasons given consider they are all necessary to make the development acceptable in planning terms, are directly related to the development and are fairly and reasonably related in scale and kind to the development. Accordingly, they may be a reason to grant planning permission in this case. .

Table 1

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
1.	<p><u>Local Needs Housing</u></p> <p>The local needs housing shall only be occupied by local people and shall remain affordable in perpetuity. The housing shall be let at rents that comply with the HCA target rent and/or leased at initial equity purchase percentages approved by the Council. The housing shall be constructed to such standards and other particulars as the Council specifies. The housing shall be managed by a registered provider of social housing approved by the Council, who must also be a party to the agreement.</p>	<p>51 dwellings provided in the age restricted affordable apartments and associated bungalows 24%rented : 76% shared ownership</p>		<p>Necessary as the benefit of providing affordable housing to meet local needs, which justifies permission being granted, must be secured pursuant to Tenterden and Rural DPD policy TRS4 and guidance in the NPPF.</p> <p>Directly related as policies restricting housing in such locations mean that permission would not otherwise be granted for the development.</p> <p>Fairly and reasonably related in scale and kind as no housing of any kind would otherwise be permitted on the application site.</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
2.	<p>Outdoor Sports Pitches</p> <p>Contribution towards provision of or improvements to outdoor sports pitches and associated facilities and maintenance thereof</p> <p>Project: Improvements to Arthur Baker Playing Fields comprising enhancement of the parking area</p>	<p>Housing for market sale only</p> <p>£1,589 per dwelling for capital costs</p> <p>£326 per dwelling for maintenance</p>	<p>Contributions on occupation of every 20 dwellings or on final dwelling.</p>	<p>Necessary as outdoor sports pitches are required to meet the demand that would be generated and must be maintained in order to continue to meet that demand pursuant to Core Strategy policies CS1, CS2 and CS18, Tenterden and Rural Sites DPD policy TRS19, Public Green Spaces and Water Environment SPD and guidance in the NPPF.</p> <p>Directly related as occupiers will use sports pitches and the facilities to be provided would be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and the number of occupiers and the extent of the facilities to be provided and maintained and the</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				maintenance period is limited to 10 years.
3.	<p>Strategic Parks</p> <p>Contribution towards maintenance of or improvements to the Strategic Parks in Ashford</p> <p>Project: tbc</p>	<p>Housing for market sale only</p> <p>£146 per dwelling for capital costs</p> <p>£47 per private dwelling for maintenance</p>	<p>Contributions on occupation of every 20 market dwellings</p> <p>.</p>	<p>Necessary as strategic parks are required to meet the demand that would be generated and must be maintained in order to continue to meet that demand pursuant to Core Strategy policies CS1, CS2, CS18 and CS18a, Tenterden and Rural Sites DPD policy TRS19, Public Green Spaces and Water Environment SPD and guidance in the NPPF.</p> <p>Directly related as occupiers will use strategic parks and the facilities to be provided would be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and the number of occupiers and the</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				extent of the facilities to be provided and maintained and the maintenance period is limited to 10 years.
4.	<p>Informal/Natural Green Space Where this is not provided on site (which is the preferred option) then a contribution is required towards provision of or improvements to informal/natural green space and associated facilities and maintenance thereof</p> <p>Project: On site provision is the preferred option otherwise to be agreed.</p>	<p>Housing for market sale only</p> <p>£434 per dwelling for capital costs</p> <p>£325 per dwelling for maintenance</p> <p>Less a pro-rata reduction for any informal / natural green space provided on site in accordance with the SPD</p>	<p>Contributions on occupation of every 20 market dwellings.</p>	<p>Necessary as informal/natural green space is required to meet the demand that would be generated and must be maintained in order to continue to meet that demand pursuant to Core Strategy policies CS1, CS2 and CS18, Tenterden and Rural Sites DPD policy TRS19, Public Green Spaces and Water Environment SPD and guidance in the NPPF.</p> <p>Directly related as occupiers will use informal/natural green space and the space to be provided would be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and the</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				number of occupiers and the extent of the facilities to be provided and maintained and the maintenance period is limited to 10 years.
5.	<p>Voluntary Sector</p> <p>Contribution towards the provision of premises and facilities for use by voluntary organisations and towards community development and voluntary sector activity within the same settlement or in a reasonably accessible alternative location</p> <p>Project: tbc</p>	<p>Housing for market sale only</p> <p>£83 per dwelling</p>	<p>Contributions on occupation of every 20 market dwellings</p>	<p>Necessary to provide additional voluntary sector capacity required to meet the demand that would be generated pursuant to Core Strategy policy CS18, Tenterden and Rural Sites DPD policy TRS19 and guidance in the NPPF.</p> <p>Directly related as occupiers will use the voluntary sector and the additional capacity to be funded will be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development.</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
6.	<p>Children’s and Young People’s Play Space</p> <p>Contribution towards provision of or improvements to children’s and young people’s play space and associated facilities and maintenance thereof</p> <p>Project: Improvements to both children’s recreation grounds in Charing</p>	<p>Housing for market sale only</p> <p>£649 per dwelling for capital costs</p> <p>£663 per dwelling for maintenance</p>	<p>Contributions on occupation of every 20 market dwelling</p>	<p>Necessary as children’s and young people’s play space is required to meet the demand that would be generated and must be maintained in order to continue to meet that demand pursuant to Core Strategy policies CS1, CS2 and CS18, Tenterden and Rural Sites DPD policy TRS19, Public Green Spaces and Water Environment SPD and guidance in the NPPF.</p> <p>Directly related as occupiers will use children’s and young people’s play space and the play space to be provided would be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and the number of occupiers and the</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				extent of the facilities to be provided and maintained and the maintenance period is limited to 10 years.
7.	<p>Allotments</p> <p>Contribution towards provision of or improvements to allotments and associated facilities and maintenance thereof</p> <p>Project: tbc</p>	<p>Housing for market sale only</p> <p>£258 per dwelling for capital costs</p> <p>£66 per dwelling for maintenance</p>	Contributions on occupation of every 20 market dwelling	<p>Necessary as allotments are required to meet the demand that would be generated and must be maintained in order to continue to meet that demand pursuant to Core Strategy policies CS1, CS2 and CS18, Tenterden and Rural Sites DPD policy TRS19, Public Green Spaces and Water Environment SPD and guidance in the NPPF.</p> <p>Directly related as occupiers will use allotments and the facilities to be provided would be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and the</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				number of occupiers and the extent of the facilities to be provided and maintained and the maintenance period is limited to 10 years.
8.	<p>Primary Schools</p> <p>Contribution towards additional primary school places</p> <p>Project: Charing PS2 Classroom extension</p>	<p>Housing for market sale only</p> <p>£590.24 for each flat and £3324 for each house</p> <p>£0 for any 1-bed dwelling with less than 56 m2 gross internal area</p>	<p>Contributions on occupation of every 20 market dwelling</p>	<p>Necessary as no spare capacity at any primary school in the vicinity and pursuant to Core Strategy policies CS1, CS2 and CS18, saved Local Plan policy CF21, Tenterden and Rural Sites DPD policy TRS19, Developer Contributions/Planning Obligations SPG, KCC Guide to Development Contributions and the Provision of Community Infrastructure and guidance in the NPPF.</p> <p>Directly related as children of occupiers will attend secondary school and the facilities to be funded would be available to them.</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				Fairly and reasonably related in scale and kind considering the extent of the development and because the amount has taken into account the estimated number of secondary school pupils and is based on the number of dwellings and because no payment is due on small 1-bed dwellings or sheltered accommodation specifically for the elderly.
9.	<p>Secondary Schools</p> <p>Contribution towards additional secondary school places</p> <p>Project: Highworth School 3 class extension</p>	<p>Housing for market sale only</p> <p>£2359.80 for each house</p> <p>£0 for any 1-bed dwelling with less than 56 m2 gross internal area</p>	<p>Contributions on occupation of every 20 market dwelling</p>	<p>Necessary as no spare capacity at any secondary school in the vicinity and pursuant to Core Strategy policies CS1, CS2 and CS18, saved Local Plan policy CF21, Tenterden and Rural Sites DPD policy TRS19, Developer Contributions/Planning Obligations SPG, KCC Guide to Development Contributions and the Provision of Community Infrastructure and guidance in the NPPF.</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				<p>Directly related as children of occupiers will attend secondary school and the facilities to be funded would be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and because the amount has taken into account the estimated number of secondary school pupils and is based on the number of dwellings and because no payment is due on small 1-bed dwellings or sheltered accommodation specifically for the elderly.</p>
10.	<p>Library Facilities</p> <p>Contribution towards the construction and/or equipping of library premises within the same settlement or in a reasonably accessible alternative location</p>	<p>£48.02 per dwelling</p> <p>£0 for any 1-bed dwelling with less than 56 m2 gross internal area</p>	<p>Contributions on occupation of every 20 dwellings</p>	<p>Necessary as no spare library space available to meet the demand generated and pursuant to Core Strategy policies CS8 and CS18, Tenterden and Rural Sites DPD policy TRS19, KCC Guide to</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
	<p>Project: Towards the additional bookstock required to mitigate the impact of additional borrowers generated from this development</p>			<p>Development Contributions and the Provision of Community Infrastructure and guidance in the NPPF.</p> <p>Directly related as occupiers will use library facilities and the facilities to be funded will be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and because amount calculated based on the number of dwellings.</p>
11.	<p><u>Community Learning</u></p> <p>Contribution for community learning services in the area</p> <p>Project: Lip reading classes in Charing</p>	<p>£34.45 per dwelling</p> <p>£0 for any 1-bed dwelling with less than 56 m2 gross internal area</p>	<p>Contributions on occupation of every 20 dwellings</p>	<p>Necessary to ensure support for community learning in the area to meet the demand generated and pursuant to Core Strategy policies CS8 and CS18, Tenterden and Rural Sites DPD policy TRS19, KCC Guide to Development</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				<p>Contributions and the Provision of Community Infrastructure and guidance in the NPPF.</p> <p>Directly related as occupiers will use library facilities and the facilities to be funded will be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and because amount calculated based on the number of dwellings.</p>
12.	<p><u>Youth Services</u></p> <p>Contribution towards youth services in the area</p> <p>Project: Ashford Street based and community activity teams</p>	<p>Housing for market sale only</p> <p>£26.89 per dwelling</p> <p>£0 for any 1-bed dwelling with less than 56 m2 gross internal area</p>	<p>Contributions on occupation of every 20 market dwellings</p>	<p>Necessary as there is no spare youth service space available to meet the demand that would be generated and pursuant to Core Strategy policy CS18, Tenterden and Rural Sites DPD policy TRS19, KCC Guide to Development Contributions and</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				<p>the Provision of Community Infrastructure and guidance in the NPPF.</p> <p>Directly related as occupiers will use youth service facilities and the facilities to be funded will be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and because the amount has taken into account the estimated number of users and is based on the number of dwellings and because no payment is due on small 1-bed dwellings or sheltered accommodation specifically for the elderly.</p>
13.	<p><u>Adult Social Care</u></p> <p>Contribution towards enhancing community facilities in the area by making them accessible to people with disabilities and enabling</p>	<p>Houses for market sale only</p> <p>£77.58 per dwelling</p>	<p>Contributions on occupation of every 20 market dwellings</p>	<p>Necessary as additional social services premises required to meet the demand that would be generated pursuant to Core Strategy policy CS18, Tenterden</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
	<p>telecare services to be installed in homes in the area.</p> <p>Project: Additional social care staff to support the new clients from this development</p>			<p>and Rural Sites DPD policy TRS19, KCC Guide to Development Contributions and the Provision of Community Infrastructure and guidance in the NPPF.</p> <p>Directly related as occupiers will use adult social services facilities and the facilities to be funded will be available to them.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and because the amount has taken into account the estimated number of users and is based on the number of dwellings.</p>
14.	<p><u>Healthcare Provision</u></p> <p>Contribution towards improvements health care services and/or facilities in the area</p> <p>Project: tbc</p>	<p>£504 for each 1-bed Dwelling £720 for each 2-bed Dwelling £1008 for each 3-bed Dwelling £1260 for each 4-</p>	<p>Contributions on occupation of every 20 dwellings.</p>	<p>Necessary as additional primary care premises required to meet the demand that would be generated pursuant to Core Strategy policy CS18, Tenterden and Rural Sites DPD policy TRS19, saved Local</p>

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
		bed Dwelling £1728 for each 5- bed Dwelling or larger		Plan policy CF19 and guidance in the NPPF. Directly related as occupiers will use primary care facilities and the facilities to be funded will be available to them. Fairly and reasonably related in scale and kind considering the extent of the development and because the amount has been calculated based on the estimated number of occupiers.
15.	Monitoring Fee Contribution towards the Council's costs of monitoring compliance with the agreement or undertaking	£1000 per annum until development is completed	First payment upon commencement of development and on the anniversary thereof in subsequent years	Necessary in order to ensure the planning obligations are complied with. Directly related as only costs arising in connection with the monitoring of the development and these planning obligations are covered. Fairly and reasonably related in scale and kind considering the

	Detail	Amount(s)	Trigger Point(s)	Regulation 122 Assessment
				extent of the development and the obligations to be monitored.
16.	<p>Quality Monitoring Regime</p> <p>Contribution towards the Council's cost of monitoring the quality of SUDS/drainage; open space layout spec; highway materials.</p>	<p>£5000 per annum for the duration of the build</p>	<p>First payment upon commencement of development and on the anniversary thereof in subsequent years</p>	<p>Necessary in order to ensure the planning obligations are complied with.</p> <p>Directly related as only costs arising in connection with the monitoring of the development and these planning obligations are covered.</p> <p>Fairly and reasonably related in scale and kind considering the extent of the development and the obligations to be monitored.</p>
<p>Notices will have to be served on the Council at the time of the various trigger points in order to aid monitoring. All contributions to be index linked as set out on the council web site in order to ensure the value is not reduced over time. The costs and disbursements of the Council's Legal Department incurred in connection with the negotiation, preparation and completion of the deed are payable. The Kent County Council may also require payment of their legal costs.</p> <p>If an acceptable agreement/undertaking is not completed within 3 months of the committee's resolution to grant, the application may be refused.</p>				

Human Rights Issues

98. I have also taken into account the human rights issues relevant to this application. In my view the “Assessment” section above and the Recommendations below represent an appropriate balance between the interests and rights of the applicant (to enjoy his land subject only to reasonable and proportionate controls by a public authority) and the interests and rights of those potentially affected by the proposal (to respect for private life and the home and peaceful enjoyment of their properties).

Working with the applicant

99. In accordance with paragraphs 186 and 187 of the NPPF Ashford Borough Council (ABC) takes a positive and proactive approach to development proposals focused on solutions. ABC works with applicants/agents in a positive and proactive manner as explained in the note to the applicant included in the recommendation below.

Conclusion

100. The development is in accordance with most but not all of the provisions of the Development Plan. There are material considerations that warrant departing from some aspects of some policies as set out above. The NPPF seeks to boost significantly the supply of housing and it recognises that local authorities should set policies for meeting the need for affordable housing. In rural areas local authorities should be responsive to local circumstances and plan housing development to reflect local needs, particularly affordable housing, including rural exception sites where appropriate.
101. The delivery of age restricted housing in the rural areas is not only a positive response to the needs of the elderly in the rural communities but is also a direct response to the request from Parish Councils for the council to facilitate and deliver these types of schemes.
102. The site comprises in part an allocated housing site together with land that falls outside the confines of the village of Charing. However, Policy TRS5 allows for planning permission to be granted for exception sites for specialist housing schemes. The applicants have justified a case based on need for a new age restricted housing facility with priority given to residents of Charing and surrounding parishes albeit that the sites are effectively being swapped for good planning reasons.
103. The development would not result in harm to the visual and functional amenity of the locality, and I consider the detail, layout and visual appearance of the proposals to be of a high standard. The dwellings would not have a detrimental impact upon the residential amenity of neighbouring properties

and would provide sufficient off road car parking provision. In accordance with policy CHAR1, the layout makes provision for an alternative vehicular, cycle and pedestrian route to the Arthur Baker playing fields, although this will be gated in the short term until such time as the Playing Fields Association is satisfied with the arrangements.

104. The amended scheme has addressed many of the concerns raised by local people to the originally submitted scheme. In removing the second floor of accommodation within the main building, the applicants have significantly reduced the height of the building. They have also deleted the restaurant and coffee shop removing any perceived impacts on High Street business. There is an identified need for this type of housing and as mentioned above there will be no detrimental impact upon neighbouring properties. The affordable accommodation provided is of a high quality and the architectural approach is a strong one, based on a contextual analysis of traditional building forms in the village and using primarily a local materials palette.
105. I therefore recommend that planning permission is granted.

Recommendation

(A) That for the following reasons the Planning Committee permit this application:

1. The development makes provision for an identified local need and meets the tests of Policy TRS5 of the Tenterden and Rural Sites DPD 2010 albeit on the basis of sites being substituted for each other.
2. The scale, location and design of the development would respond positively to the context of the site and preserve the visual amenities of the locality.
3. The development would not be harmful to the residential amenities of nearby dwellings.
4. The development makes provision for a vehicular, pedestrian and cycle link from the A20 through the site to the Arthur Baker playing fields in accordance with Policy CHAR1 (a).
5. The development does not result in harm to highway safety and makes provision for safe pedestrian access to the village and its facilities including a crossing over the A20.
6. The development makes adequate provision for the parking of vehicles within the site.

7. Other environmental impacts have been assessed and there are not any which are potentially significant which cannot be controlled by conditions.
 8. The planning obligations are necessary to make the development acceptable in planning terms, are directly related to the development and are fairly and reasonably related in scale and kind to the development.
- (B) Subject to the applicant first entering into a section 106 agreement in respect of planning obligations detailed in table 1, in terms agreeable to the Joint Development Control Managers or the Head of Development Strategic Sites and Design in consultation with the Corporate Director (Law and Governance) & Monitoring Officer, with delegated authority to either the Joint Development Control Managers or the Head of Development Strategic Sites and Design to make or approve minor changes to the planning obligations and planning conditions, as they see fit.**

(C) Permit/Grant Outline Planning Permission

Subject to the following conditions and notes:

Age restricted affordable housing

1. The age restricted affordable housing scheme hereby permitted shall be begun before the expiration of 3 years from the date of this decision.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and compulsory Purchase Act 2004.

2. Written details including source/manufacture, and samples of bricks, tiles and cladding materials to be used externally shall be submitted to and approved in writing by the Local Planning Authority before the development is commenced and the development shall be carried out using the approved external materials.

Reason: In the interests of visual amenity

3. The area shown on plan 15.148.25 P3 as vehicle parking spaces and turning area shall be provided, surfaced and drained in accordance with details previously submitted to and approved in writing by the Local Planning Authority before the dwellings are occupied. Those vehicle parking spaces adjacent to The Moat within the Root Protection Area of the Wellingtonia shall be of a 'no dig' design details of which shall have been previously submitted to and approved by the Local Planning Authority in writing. The parking/turning areas shall then be retained available for that use and no

permanent development whether or not permitted by the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order), shall be carried out so as to preclude vehicular access to those parking spaces and facilities.

Reason: To ensure the provision and retention of adequate off-street parking and turning in the interests of highway safety.

4. The development shall be carried out in accordance with the plans listed in the section of this decision notice headed Plans/Documents Approved by this decision, unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the development is carried out in accordance with the approval and to ensure the quality of development indicated on the approved plans is achieved in practice.

5. The development approved shall be made available for inspection, at a reasonable time, by the local Planning authority to ascertain whether a breach of planning control may have occurred on the land (as a result of departure from the plans hereby approved and the specific terms of this permission/consent/approval).

Reason: In the interests of ensuring the proper planning of the locality, the protection of amenity and the environment, securing high quality development through adherence to the terms of planning approvals and to ensure community confidence in the operation of the planning system.

The development shall only be occupied by persons over the age of 55 or the spouse or partner of such a person. Reason: The development as a whole is only acceptable on the basis of meeting a specified local need.

6. The approved facilities to accommodate the storage of refuse and material for recycling for the flats and bungalows and its collection by refuse vehicles shall be implemented before the occupancy of dwellings to which they relate. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any other Order or any subsequent Order revoking or re-enacting that Order, such approved facilities shall be retained in perpetuity and access thereto shall not be precluded.

Reason: To ensure satisfactory arrangements are put in place and retained in perpetuity for the collection and storage of refuse and recycling.

Open Market Housing Development

7. Approval of the details of the layout, scale, landscaping and appearance (hereafter called "the Reserved Matters") shall be obtained from the Local Planning Authority in writing before development commences and the development shall be carried out as approved.

Reason: To comply with the provisions of Article 3 of the Town and Country Planning (General Development Procedure) Order 1995 and Section 92 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

8. (A) Application for approval of the Reserved Matters shall be made to the Local Planning Authority not later than the expiration of 3 years from the date of this permission.

(B) The development hereby permitted shall be begun no later than the expiration of 2 years from the date of approval of the last of the Reserved Matters to be approved.

Reason: To comply with the provisions of Article 3 of the Town and Country Planning (General Development Procedure) Order 1995 and Section 92 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

9. Before the first occupation of a dwelling the following works between that dwelling and the existing adopted highway shall be completed as follows:
- (a) Footways and/or footpaths shall be completed, with the exception of the wearing course;
 - (b) Carriageways completed, with the exception of the wearing course, including the provision of a turning facility beyond the dwelling together with related highway drainage, including off-site works, junction visibility splays, street lighting, street nameplates and highway structures if any.

The final wearing course shall be applied within 1 year of the occupation of the last dwelling unless otherwise agreed by the Local Planning Authority in writing.

Reason: In the interests of highway safety.

10. Before occupation of each dwelling, space shall be laid out and equipped for covered bicycle storage on each dwelling plot (or communal space in the case of apartment buildings) in accordance with approved details that shall be

submitted to the Local Planning Authority for approval at the same time as the details required pursuant to Condition 6. Such approved covered bicycle parking shall be retained in perpetuity.

Reason: To ensure the provision and retention of adequate off-street parking and storage facilities for bicycles in the interests of highway safety and to promote cycle use in the interests of facilitating more sustainable patterns of movement related to local trips.

11. The approved parking and turning facilities agreed pursuant to condition 7 shall be provided prior to the occupation of the dwelling to which they relate, and the parking/turning areas shall then be retained available for that use and no permanent development whether or not permitted by the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order), shall be carried out so as to preclude vehicular access to those parking spaces and facilities.

Reason: To ensure the provision and retention of adequate off-street parking and turning in the interests of highway safety.

12. Full details of facilities to accommodate the storage of refuse and material for recycling for each dwelling and its collection by refuse vehicles shall be submitted at the same time as details required to be submitted pursuant to Condition 6 and approved by the Local Planning Authority in writing. The approved details shall be implemented before the occupancy of dwellings to which they relate. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, or any other Order or any subsequent Order revoking or re-enacting that Order, such approved facilities shall be retained in perpetuity and access thereto shall not be precluded.

Reason: To ensure satisfactory arrangements are put in place and retained in perpetuity for the collection and storage of refuse and recycling.

13. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) or any other Order or any subsequent Order revoking or re-enacting that Order, any car barns provided in accordance with the details required to be submitted in accordance with Condition 7 shall not be further altered through the addition of further doors or any other structure that would preclude their use for the parking of vehicles without the prior permission of the Local Planning Authority in writing.

Reason: To ensure that the covered space is retained available for the storage of a vehicle when not in use in order to prevent the displacement of car parking and subsequent inappropriate car parking.

14. The layout details required to be submitted pursuant to Condition 7 of this permission shall be accompanied by layout plans (together with other plans and sections as may be necessary) to demonstrate the provision of level thresholds to all dwellings (and/or thresholds with shallow ramps where level thresholds cannot be provided).

Reason: To ensure that dwellings will be accessible and are able to accommodate varying mobility needs over time.

15. Prior to the commencement of the open market housing development, a survey of the development site as existing, in accordance with the provisions of BS 5837 (Trees in relation to construction – Recommendations (2005)) shall be submitted to the Local Planning Authority concurrently with the submission of the site layout drawings required to be submitted pursuant to Condition 6 and shall include, as appropriate, the following information at a suitable scale:

(a) Location, species, girth or stem diameter, accurately planned crown spread and reference number of all trees on and adjoining the site with a stem diameter of 75 mm or greater at a point 1.5 metres above ground level.

(b) A numbered tree condition schedule with proposals for removal of trees and for surgery or other works, where applicable, to retained trees.

(c) Existing and proposed levels including, where appropriate, sufficient detail to allow proper consideration of existing of existing tree protection.

(d) Location, spread and other relevant details of existing hedgerows, hedges and other significant areas of vegetation.

(e) Location and dimensions of existing watercourses, drainage channels and other aquatic features with water, invert and bank levels as appropriate.

(f) Existing boundary treatments and forms of enclosure.

(g) Existing structures, services and other artefacts, including hard surfaces.

(h) Indication of land use, roads or other means of access, structures and natural features on land adjoining the development site.

(i) Route of existing footpaths and public rights of way on and adjoining the site.

(j) North point and scale.

Reason: To allow the proper consideration of the impact of the proposed development on the amenity value of the existing site.

16. None of the open market dwellings shall be occupied until works for the disposal of sewage have been provided to serve the development hereby permitted, in accordance with details to be submitted to and approved in writing by the Local Planning Authority (in consultation with Southern Water Services) at the same time as the details required pursuant to Condition 6 and such approved works shall be appropriately retained and maintained in perpetuity.

Reason: To avoid pollution of the surrounding area.

Age restricted affordable and market housing development

17. The vehicular access details shown on the approved plans shall be completed prior to the commencement of any other works authorised by this permission

Reason: In the interests of highway safety.

18. Full details of the widening of the footway to create a combined footway / cycleway from the site access to the junction with Old Ashford Road shall be submitted to and approved in writing by the Local Planning Authority and carried out prior to the occupation of any units on the site.

Reason: In the interests of highway safety.

19. Full details of improvements to the existing bus stops on Maidstone Road shall be submitted to and approved in writing by the Local Planning Authority prior to the occupation of any units on the site. The Ashford bound stop should have a 31 metre bus stop clearway, raised kerbs and a new shelter. The Maidstone bound stop should have new raised kerbs. The works shall be carried out as approved prior to occupation if any dwelling.

Reason: In the interests of highway safety and the sustainability of the development.

20. No development shall take place until a Construction Method Statement has been submitted to, and approved in writing, by the Local Planning Authority. The facilities shall be provided and the approved Statement shall be adhered to throughout the construction period. The statement shall provide for:

- a. the parking of vehicles of site operatives and visitors;
- b. routing of construction vehicles and the loading and unloading of plant and materials;

- c. storage of plant and materials used in constructing the development;
- d. the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate
- e. vehicle washing facilities
- f. measures to control the emission of dust and dirt during construction
- g. a scheme for recycling /disposing of waste resulting from the demolition and construction works
- h. a scheme to control noise during the construction phase
- i. hours of work on the site

Reason: in the interests of highway safety and to protect the amenities of local residents in accordance with policy.

21. No development shall commence until plans and particulars of a sustainable drainage system to serve the relevant parts of the development (including the details below) for the disposal of the site's surface water have been submitted to and approved in writing by the Local Planning Authority. These should include a plan showing where water is to be discharged to ground (soakaway positions if applicable) and a plan indicating the routes flood waters will take should the site experience a rainfall event that exceed the design capacity of the surface water drainage system.

The final drainage plan for the scheme will be approved by Ashford Borough Council to ensure that surface water runoff from the site is being dealt with appropriately and in line with Ashford Borough council's Sustainable Drainage SPD. This will include a modified surface water drainage strategy which satisfies the requirements of the SPD.

All discharging of surface water run-off will be dealt with within the boundary via suitable methods approved by Ashford Borough Council. Should discharging of all surface water within the site boundary not be achievable then a suitable alternative should be proposed for agreement by Ashford Borough Council. Proposals should identify any overland flow paths, channelling of flows, or piped flows along with the final point of discharge of the water from the site into a suitable drainage ditch, or water body, or other suitably agreed point of discharge (subject to the required permission being achieved).

A plan indicating the routes flood waters will take should the site experience a rainfall event that exceeds the design capacity of the surface water drainage system (designing for exceedance).

The submitted system shall comprise retention or storage of the surface water on-site or within the immediate area in a way which is appropriate to the site's location, topography, hydrogeology and hydrology.

The submitted system shall be designed to

- (i.) avoid any increase in flood risk,
- (ii.) avoid any adverse impact on water quality,
- (iii.) achieve a reduction in the run-off rate in accordance with the Ashford Borough Council Sustainable Drainage SPD document, adopted October 2010.
- (iv.) promote biodiversity,
- (v.) enhance the landscape,
- (vi.) improve public amenities,
- (vii.) return the water to the natural drainage system as near to the source as possible and
- (viii.) operate both during construction of the development and post-completion.

The submitted details shall include identification of the proposed discharge points from the system, a timetable for provision of the system and arrangements for future maintenance (in particular the type and frequency of maintenance and responsibility for maintenance). This should include a plan identifying all the elements that make up the surface water drainage system, (including areas of porous paving, underwater storage crates, box culverts, soakaways) and indicate the proposed future ownership /maintenance responsibility for each element.

The approved system shall be provided in accordance with the approved timetable. The approved system shall be maintained in accordance with the approved details and shall be retained in working order until such time as the development ceases to be in use.

If any of the proposed surface water discharge points are to be the existing public sewer, the applicant must provide written confirmation from Southern Water of their agreement to the proposals. All other points of discharge into existing watercourses or water bodies require the express permission of the owner of the receiving watercourse or body.

Reason: In order to reduce the impact of the development on flooding, manage run-off flow rates, protect water quality and improve biodiversity and the appearance of the development pursuant to Core Strategy Policy CS20 Sustainable Drainage

22. As part of condition 21 details shall be submitted to and approved by the Local Planning Authority in writing of measures to prevent surface water discharging onto the existing and proposed highway, and the works shall be carried out in accordance with the approved details and thereafter maintained.

Reason: In the interests of Highway safety.

23. The approved visibility splays at the junction with the A20 shall be provided prior to any part of the development being brought into use and thereafter maintained with no obstruction over 0.6m in height.

Reason: In the interests of Highway safety.

24. No development shall take place until the applicant, or their agents or successors in title, has secured the implementation of a programme of archaeological work on the relevant part of the site in accordance with a written specification and timetable which has been submitted to and approved by the Local Planning Authority.

Reason: To ensure that features of archaeological interest are properly examined and recorded.

25. No development shall take place within each part of the site until full details of both hard and soft landscape works have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. These details shall include proposed finished levels or contours; means of enclosure; hard surfacing materials and lighting.

Reason: In order to protect and enhance the amenity of the area.

26. All hard and soft landscape works within each part of the site shall be carried out in accordance with the approved details. The works shall be carried out prior to the occupation of any part of the development or in accordance with the programme agreed in writing with the Local Planning Authority; and any trees or plants whether new or retained which within a period of 5 years from

the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: In the interests of visual amenity

27. In this condition "retained tree" means an existing tree which is to be retained in accordance with the approved plans and particulars; and paragraphs (a) and (b) below shall have effect until the expiration of 5 years from the date of the occupation of the building(s) for its/their permitted use(s).

(a) No retained tree shall be cut down, uprooted or destroyed, nor shall any retained tree be pruned, thinned or reduced other than in accordance with the approved plans and particulars, without the written approval of the Local Planning Authority.

(b) If any tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the Local Planning Authority.

(c) The erection of fencing for the protection of any retained tree shall be undertaken in accordance with the recommendations of BS5837 (2005) and the approved plans and particulars before any equipment machinery or materials are brought on to the site for the purposes of the development, and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Nothing shall be stored or placed in any area fenced in accordance with this condition and the ground levels within those areas shall not be altered, nor shall any excavation be made, without the written consent of the Local Planning Authority.

Reason: In order to protect and enhance the amenity of the area.

28. No trenches for underground services or foundations shall be commenced within the BS5837 root protection areas of trees identified as being retained or within 5 metres of any hedgerows without the prior consent of the Local Planning Authority in writing.

Reason: To prevent damage to trees and hedgerows on the site.

29. No cutting operations shall be carried out between 31st March and 31st August in any year.

Reason: In the interests of good forestry and to protect wildlife to accord with the requirements of the Wildlife and Countryside Act 1981.

30. Any existing hedges or hedgerows shall be retained, unless shown on the approved drawings as being removed. Any existing hedges and hedgerows on and immediately adjoining the site shall be protected from damage for the duration of works on the site. Any parts of hedges or hedgerows removed without the Local Planning Authority's prior consent or which die or become, in the opinion of the Local Planning Authority, seriously diseased or otherwise damaged within five years following contractual practical completion of the approved development shall be replaced as soon as is reasonably practicable and, in any case, by not later than the end of the first available planting season, with plants of such size and species and in such positions as may be agreed with the Authority.

Reason: To ensure the continuity of amenity afforded by existing hedges or hedgerows.

31. No development shall take place until full plan and cross-section details of any proposed earthworks have been submitted to and approved in writing by the Local Planning Authority. These details shall include any proposed grading and mounding of land areas including the existing and proposed levels and contours to be formed, showing the relationship of proposed mounding to existing vegetation, surrounding landforms, fences and buildings. Development shall only be carried out in accordance with the approved details.

Reason: In the interests of the amenity of the area.

32. Details of walls, fences and railings to be erected within each part of the development shall be submitted to and approved by the Local Planning Authority within 1 month of the commencement of the development to which they relate. The walls and fences shall then be erected in accordance with such approved details.

Reason: In the interests of visual amenity

33. Prior to being discharged into any watercourse, surface water sewer or soakaway system, all surface water drainage from parking areas and hardstandings shall be passed through an oil interceptor designed and constructed to have a capacity and details compatible with the site being drained. Roof water shall not pass through the interceptor. The oil interceptor shall be appropriately maintained and retained in perpetuity.

Reason: To prevent pollution of the water environment.

34. Prior to occupation of the site hereby approved, details of how the development will enhance biodiversity will be submitted to and approved in writing by the Local Planning Authority. This will include clear ecological

enhancement for breeding birds and bats and shall include provision of bat boxes, bird boxes and native planting. The approved details will be implemented and thereafter retained.

Reason: In order to ensure the development builds in opportunities for beneficial biodiversity as part of good design.

35. No flues, vents, stacks, extractor fans or meter boxes shall be located on the front elevation of any of the units.

Reason: In the interest of visual amenity.

36. If unexpected contamination is found at any time when carrying out the approved development it must be reported in writing to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of condition 1, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of condition 2.

Following completion of the remediation scheme a verification report that demonstrates the effectiveness of the remediation carried out must be prepared and submitted for approval in writing by the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors. (LDF Core Strategy Policy CS1 and CS4)

37. Prior to the commencement of development herpatile exclusion fencing shall be erected around the perimeter of the site in accordance with details previously submitted to and approved in writing by the Local Planning Authority. The fencing shall thereafter be retained as an effective barrier preventing herpatiles from entering the site and shall remain in situ until the completion of the development.

Reason: To ensure that European and UK protected species are not harmed as a result of the development.

38. Before development commences details shall be submitted (either separately or as part of reserved matters) for the installation of fixed telecommunication infrastructure and High Speed Fibre Optic (minimal internal speed of 100mb) connections to all dwellings. This shall provide sufficient capacity, including duct sizing to cater for all of the development with sufficient flexibility to meet the needs of existing and future residents. The infrastructure shall be laid out

in accordance with the approved details and at the same time as other services during the construction to enable a connection to be made.

Reason: In order to maximise use of technology in the interests of sustainability.

39. The development shall be carbon neutral. Each dwelling hereby approved shall be constructed and fitted out so that:

a) the potential consumption of wholesome water by persons occupying the dwelling will not exceed 110 litres per person per day as measured in accordance with a methodology approved by the Local Planning Authority;

b) carbon emissions are reduced by 15% through Low and Zero Carbon Technologies once energy efficiencies have been applied.

Unless otherwise agreed in writing by the Local Planning Authority, no work on each dwelling shall commence until the following details for those dwellings have been submitted to and approved in writing by the Local Planning Authority:

a) Standard Assessment Procedure ("SAP") calculations from a competent person stating the estimated amount of carbon emissions from energy demand with and without LZC technologies installed.

b) Details of the LZC technologies to be used to achieve the 15% reduction in carbon emissions.

The development shall be carried out in accordance with the approved details. The approved LZC technologies shall thereafter be retained in working order unless otherwise agreed in writing by the Local Planning Authority. Unless otherwise agreed in writing by the Local Planning Authority, no dwelling shall be occupied until SAP calculations from a competent person have been submitted to and approved in writing by the Local Planning Authority for that dwelling stating (i) the actual amount of carbon emissions from energy demand with the LZC technologies that have been installed and what the emissions would have been without them and (ii) the actual amount of residual carbon emissions. No dwelling shall be occupied unless the notice for that dwelling required by the Building Regulations 2010 (as amended) of the potential consumption of wholesome water per person per day has been given to the Local Planning Authority.

Reason: In order to achieve the requirements of policy CS10 of the CSLDF and in the interests of sustainable construction.

Note to Applicant

Working with the applicant

In accordance with paragraphs 186 and 187 of the NPPF Ashford Borough Council (ABC) takes a positive and proactive approach to development proposals focused on solutions. ABC works with applicants/agents in a positive and proactive manner by;

- offering a pre-application advice service,
- as appropriate updating applicants/agents of any issues that may arise in the pro
- where possible suggesting solutions to secure a successful outcome,
- informing applicants/agents of any likely recommendation of refusal prior to a decision and,
- by adhering to the requirements of the Development Management Customer Charter.

In this instance:

- The principles of the development were formulated in conjunction with the local community through events and workshops in the village.
- The applicant/agent was updated of any issues after the initial site visit.
- The applicant/ agent responded by submitting additional information and with drawing plans forming part of the original submission and consequently reported to the planning committee.
- The applicant was provided the opportunity to submit amendments to the scheme/ address issues.
- The application was dealt with without delay.
- The application was considered by the Planning Committee where the applicant/agent had the opportunity to speak to the committee and promote the application.

This development is also the subject of an Obligation under Section 106 of the Town and Country Planning Act 1990 which affects the way in which the property may be used.

Impact on Alder beds

Biodiversity enhancement

Note to Applicant

1. Any works within watercourses (eg. Ditches) on and adjacent to the site may require the prior land drainage consent from Kent County Council and, or the Internal Drainage Board.

Any watercourse within the boundary and adjacent to the site would be classed as an 'ordinary watercourse' and comes under the terms of the Land Drainage Act 1991, (as amended by the Flood and Water Management Act 2010), whereupon and culvert, diversion, weir dam or like obstruction to the flow of the watercourse requires a flood defence consent (also known as a 'land drainage consent') from Kent County Council. In the absence of any agreement to the contrary, maintenance of the watercourse is the responsibility of the riparian owner. Applications for consent should be made to Kent County Council (suds@kent.gov.uk; main switchboard number is 0845 8247 247).

2. Culverting of open watercourses will not normally be permitted except where essential to allow highways and/or other infrastructure to cross. When considering the development/redevelopment of any site, existing ordinary watercourses should be identified and accommodated within any drainage strategy and site masterplan. They should be preferably retained as an open feature within a designated corridor, and ideally retained within public open space. Kent County Council as Lead Local Flood Authority should be consulted on this proposal to confirm the acceptability of the drainage proposal.
3. Planning permission does not convey any approval for construction of the required vehicular crossing, or any other works within the highway for which a statutory licence must be obtained. Applicants should contact Kent County Council - Highways and Transportation (web:www.kent.gov.uk/roads_and_transport.aspx or telephone: 03000 418181) in order to obtain the necessary Application Pack.

It is the responsibility of the applicant to ensure, before the development hereby approved is commenced, that all necessary highway approvals and consents where required are obtained and that the limits of highway boundary are clearly established in order to avoid any enforcement action being taken by the Highway Authority. The applicant must also ensure that the details shown on the approved plans agree in every aspect with those approved under such legislation and common law. It is therefore important for the applicant to contact KCC Highways and Transportation to progress this aspect of the works prior to commencement on site.

4. The alterations to Maidstone Road to provide a new right hand turn lane into the site and new footway / cycleway will be subject to a full Section 278 Highway Agreement with Kent County Council Highways and Transportation. The applicant is advised to contact the Agreements Team to progress these works.
5. This development is also the subject of an Obligation under Section 106 of the Town and Country Planning Act 1990 which affects the way in which the property may be used.

Working with the applicant

In accordance with paragraphs 186 and 187 of the NPPF Ashford Borough Council (ABC) takes a positive and proactive approach to development proposals focused on solutions. ABC works with applicants/agents in a positive and proactive manner by;

- offering a pre-application advice service,
- as appropriate updating applicants/agents of any issues that may arise in the processing of their application
- where possible suggesting solutions to secure a successful outcome,
- informing applicants/agents of any likely recommendation of refusal prior to a decision and,
- by adhering to the requirements of the Development Management Customer Charter.

In this instance:

- the applicant/agent was updated of any issues after the initial site visit,
- was provided with pre-application advice,
- The applicant was provided the opportunity to submit amendments to the scheme/ address issues.
- The application was considered by the Planning Committee where the applicant/agent had the opportunity to speak to the committee and promote the application.

Background Papers

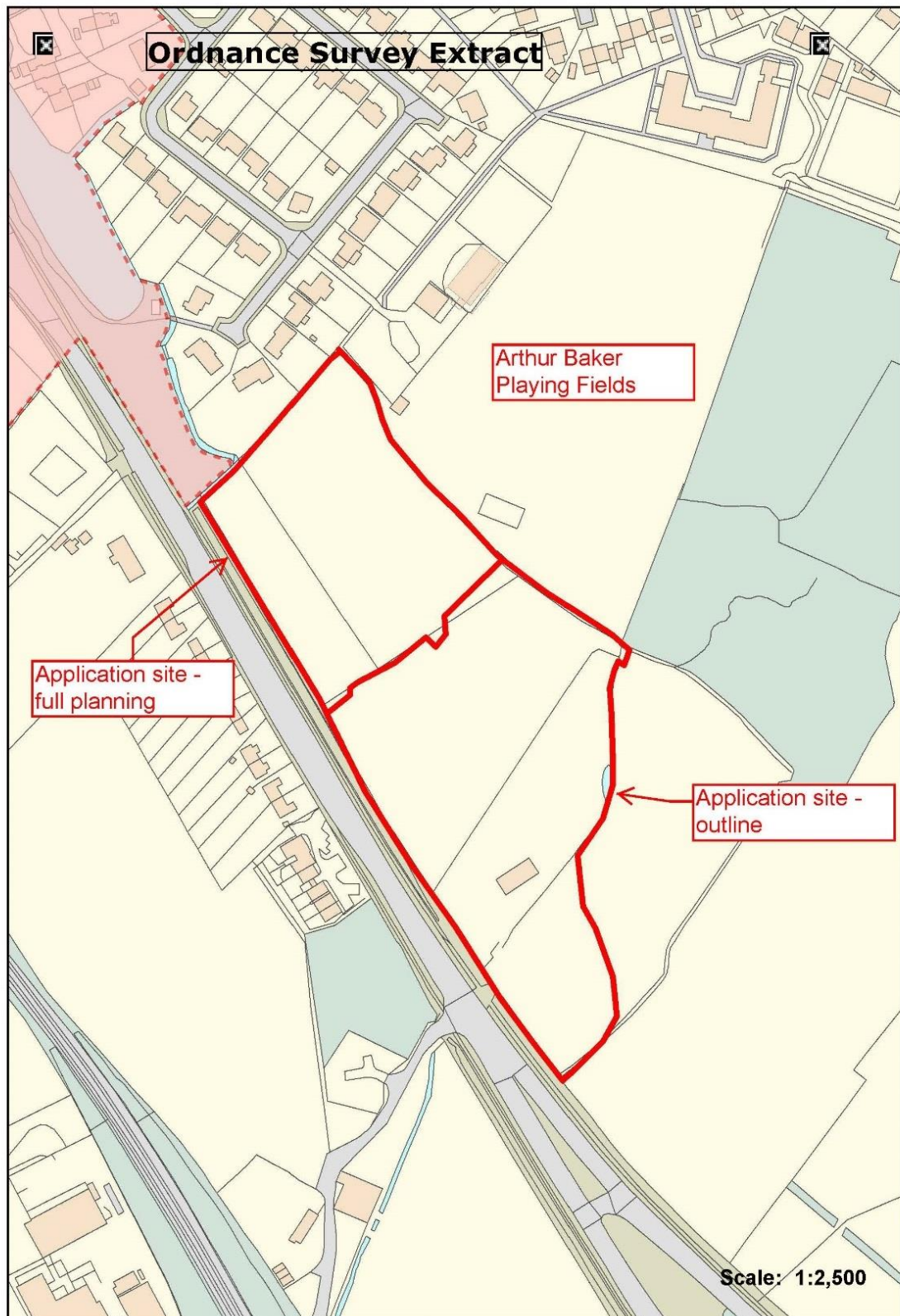
All papers referred to in this report are currently published on the Ashford Borough Council web site (www.ashford.gov.uk). Those papers relating specifically to this application may be found on the [View applications on line](#) pages under planning application reference 14/01486/AS.

Contact Officer: Katy Magnall

Telephone: (01233) 330259

Email: katy.magnall@ashford.gov.uk

Annex 1



This product includes mapping data from Ordnance Survey with the permission of the Controller of Her Majesty's Stationery Office © Crown Copyright. All rights reserved. Licence Number 100024427>